

Growth Management Department
Planning & Development
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110



www.flaglercounty.gov
Phone: (386)313-4003
Fax: (386)313-4102

FLAGLER COUNTY TECHNICAL REVIEW COMMITTEE

GOVERNMENT SERVICES BUILDING
First Floor Conference Room B108

1769 EAST MOODY BOULEVARD, BUILDING 2, BUNNELL, FL 32110

A G E N D A

DATE – JANUARY 17, 2024

TIME – 9:00 A.M.

WHILE THE TECHNICAL REVIEW COMMITTEE IS OPEN TO THE PUBLIC, IT IS **NOT A PUBLIC HEARING**. COMMENTS MAY BE SUBMITTED PRIOR TO THE MEETING BY EMAIL TO PLANNINGDEPT@FLAGLERCOUNTY.GOV.

1. Project No. 2023120028 – **PRELIMINARY PLAT FOR SCENIC COVE** – request for preliminary plat for a 48 lot subdivision in the PUD (Planned Unit Development) District at 7032 N. Ocean Shore Boulevard. Parcel Nos.: 37-10-31-1550-00000-0110 and 37-10-31-1550-00000-0111; 18.708-/+ acres. Owners: KGJG Cove, LLC/Applicant: Stephenson, Wilcox & Associates, Inc. (TRC, PDB, BCC)
2. Project No. 2023120033 – **FUTURE LAND USE MAP AMENDMENT IN THE CONSERVATION FUTURE LAND USE** – request to amend the Future Land Use Map. Parcel Nos. 04-11-31-2984-00000-00D0 and 04-11-31-2984-000E1-0100; 9.36-/+ acres and 44.61-/+ acres respectively. Owner: County of Flagler/Applicant: Michael D. Chiumento, III, Esquire, on behalf of Dunes CDD. (TRC, PDB, BCC)
3. Project No. 2023120034 – **REZONING IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for rezoning. Parcel Nos. 04-11-31-2984-00000-00D0 and 04-11-31-2984-000E1-0100; 9.36-/+ acres and 44.61-/+ acres respectively. Owner: County of Flagler/Applicant: Michael D. Chiumento, III, Esquire, on behalf of Dunes CDD. (TRC, PDB, BCC)
4. Project No. 2023120052 – **VARIANCE IN THE PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for a one foot right side yard setback variance at 7 Hanover Drive. Parcel No. 37-12-31-1927-00000-0810; 10,625-/+ square feet. Owners: Richard T. and Phyllis Ashley Linck/Applicant: Richard Linck. (TRC, PDB)

Andy Dance
District 1

Greg Hansen
District 2

David Sullivan
District 3

Leann Pennington
District 4

Donald O'Brien, Jr.
District 5

5. Project No. 2023120063 – **SPECIAL EXCEPTION IN THE MH-3 (MOBILE HOME PARK) DISTRICT** – request for a Special Exception for a permanent commercial campground at 90 Park Place Avenue. Parcel No. 36-12-28-0000-02020-0000; 13.5-/+ acres. Owner/Applicant: Thomas D. Aycock and Judy B. Mc Dounough. (TRC, PDB)

6. Project No. 2023120072 – **SITE DEVELOPMENT PLAN IN THE I (INDUSTRIAL) DISTRICT** – request for a site development plan at 8325 U.S. Highway 1 South. Parcel No. 16-13-31-2000-00020-0000; 38,100-/+ square feet. Owner/Applicant: Storage Central, LLC. (TRC)

PLEASE TAKE NOTICE THAT INDIVIDUAL COMMISSIONERS OF THE BOARD OF COUNTY COMMISSIONERS MAY ATTEND THIS EVENT. THE COMMISSIONERS WHO ATTEND WILL NOT TAKE ANY ACTION OR TAKE ANY VOTE AT THIS MEETING. THIS IS NOT AN OFFICIAL MEETING OF THE BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY. THIS NOTICE IS BEING PROVIDED TO MEET THE SPIRIT OF THE SUNSHINE LAW TO INFORM THE PUBLIC THAT COMMISSIONERS MAY BE PRESENT AT THESE DISCUSSIONS. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, PERSONS NEEDING ASSISTANCE TO PARTICIPATE IN THIS MEETING SHOULD CONTACT THE PLANNING & ZONING DEPARTMENT AT (386) 313-4009 AT LEAST 48 HOURS PRIOR TO THE MEETING.

Growth Management Department
Planning & Zoning
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110

www.flaglercounty.org

Phone: (386)313-4009

Fax: (386)313-4109



TECHNICAL REVIEW COMMITTEE COMMENTS

DATE: January 12, 2024

Project #: 2023120028 / AR #4518

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

Attachment: Staff Comments

Reviewing Department Comments

ENGIN1 - DEVELOPMENT ENGINEERING (386-313-4082)

Comments:

Rejected By: SUSAN GRAHAM - (386)313-4082 - SGRAHAM@FLAGLERCOUNTY.GOV
2023120028

App# 4518

Preliminary Plat – Scenic Cove

Overall Comments

Provide the PUD Site Plan Application

1. The Applicant is to provide technically complete and approved Site Development Plans that comply with the Land Development Code. Existing elevations and proposed grading must be included within the plan. A Plat and associated Plat documents (Engineers Estimate of Cost to Construct, Surety Bonds, and Maintenance Bond) must be submitted.

2. Provide copies of all other agency permits and approvals necessary to complete this project as well as copies of all supporting documents (applications, calculations, geotechnical reports, etc.)

3. Once all the comments have been resolved, submit three (3) sets of complete signed and sealed Site Development Plans, if more than one copy of the approved plan is desired furnish additional copies.

4. Proof of the payment of all fees and Real Estate Taxes must be provided.

5. An Attorney's Opinion of Title must be furnished prior to Preliminary and Final Plat Approval.

6. Prior to submittal of Final Plat documents, they must be reviewed and approved by a reviewing surveyor under contract with the County. This project will be assigned to ETM Surveying & Mapping Services as reviewing surveyor. Prior to the submittal of Final plat documents the applicant should contact the reviewing surveyor regarding the documents required for their review.

Contact information is as follows:

George F. Young
3721 NW 40th Terrace
Gainesville, Georgia 32606

8. Prior to project completion approval and issuance of a Certificate of Occupancy an "AS-BUILT" survey and an Engineer's Certification of Completion must be provided.

9. All provisions of the Flagler County Code must be adhered to. The notes used on the Plat must comply with the Public Works Manual. The Plat must be in the State Plane Coordinate system with ties to two control monuments. The location of the driveways must be in accordance with the County's Right of Access Management Ordinance.

10. The Subdivision Driveway is on A1A, a state highway, approval and permitting of that driveway will be through FDOT.

11. The Title Opinion must be provided.

Boundary Survey:

12.No Comments.

Preliminary Plat:

13. There is a type over on the developer's dedication.
14. Provide the Developer's name and address on all sheets.
15. Make sure the Tract Uses are the same on the plat plan view and the dedication.
16. Make sure the Dedication of the Tracts speaks to the ownership and the maintenance as well as the use of the Tracts.
17. Update the Plat to reflect 2024.
18. Additional comments may be generated from further submittals.
19. There is no utility easement between Lots 26 and 25 for the sanitary sewer extension.

Construction Drawings:

20. All notes must reference Flagler County as well as the City (Utilities) as applicable.
21. The finished Floor Elevation is one foot above the centerline of the roadway unless in the SFHA the finished floor must be one foot above BFE.
22. Provide cross sections at the rear property lines.
23. Provide the NWL Top of Bank elevation, Bottom Elevation, and the design highs for the ponds on the PGD sheets.
24. The Type 2 inlet tops proposed with these smaller lots have an issue with driveway placement without conflicting with the inlet top. Please review.
25. There is no utility easement between Lots 26 and 25 for the sanitary sewer extension.
26. Additional comments may be generated with the review of the stormwater calculations and revised plans.

ZON - ZONING (386-313-4009)

Comments:

Rejected By: SIMONE KENNY - - SKENNY@FLAGLERCOUNTY.GOV

This application cannot be approved without a PUD Site Development application approval.

Plat Comments

1. If monument sign is to be located in private right-of-way, this use must be listed as a use of Tract A.
2. Tract E is intended for recreational use and pedestrian access as per the PUD agreement. Please include this use in the dedications.
3. Tract I is not referenced in dedications.
4. Please remove the overlapping of text in the Developer signatory section.

Construction Documents Comments

5. Please provide right-of-way widths and cul de sac radius.

6. Please provide a landscape plan with consistent the PUD Agreement requirements.
7. Please provide monument sign details and location consistent with the PUD Agreement requirements.

EH - ENVIRONMENTAL HEALTH DEPT

Comments:

No comments or objections providing that potable water and/or wastewater service are not provided by well(s) and/or septic system(s).



APPLICATION FOR PRELIMINARY PLAT

FLAGLER COUNTY, FLORIDA

1769 E. Moody Blvd, Suite 105

Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

2023120028

Application/Project #:

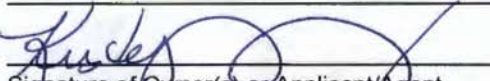
PROPERTY OWNER(S)	Name(s):	Kfgg Core, LLC		
	Mailing Address:	200 Ocean Crest Drive, Suite 509		
	City: Palm Coast	State: FL	Zip: 32137	
	Email:	Telephone #	Fax #	

APPLICANT/AGENT	Name(s):	STEPHENSON, WILCOX & ASSOCIATES, INC.		
	Mailing Address:	2729 E. MOODY BLVD, SUITE 400		
	City: BUNNELL	State: FL	Zip: 32110	
	Email: CIVILENG.SWA@GMAIL.COM	Telephone # 386.437.2363	Fax # 386.437.0030	

SUBJECT PROPERTY	SITE LOCATION (street address):	7032 N OCEANSHORE BLVD, PALM COAST, FL 32137
	LEGAL DESCRIPTION: (briefly describe, do not use "see attached")	MB 3; PAGE 28; LOT 11
	Parcel # (tax ID #):	37-10-31-1550-00000-0110 & 37-10-31-1550-00000-0111
	Parcel Size:	18.708 ACRES
	Number of Miles of New Road(s):	0.33 MILES
	Current Zoning Classification:	RESIDENTIAL/COMMERCIAL
	Current Future Land Use Designation:	MIXED USE: LOW INTENSITY
	Subject to A1A Scenic Corridor IDO?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>

PURPOSE OF SUBMISSION / PROJECT DATA:

DEVELOPMENT OF A SINGLE-FAMILY RESIDENTIAL SUBDIVISION


Signature of Owner(s) or Applicant/Agent
if Owner Authorization form attached

12/4/23
Date

OFFICIAL USE ONLY

PLANNING BOARD RECOMMENDATION/ACTION:

APPROVED []
*APPROVED WITH CONDITIONS []
DENIED []

Signature of Chairman: _____
Date: _____ *approved with conditions, see attached.

BOARD OF COUNTY COMMISSIONERS ACTION:

APPROVED []
*APPROVED WITH CONDITIONS []
DENIED []

Signature of Chairman: _____
Date: _____ *approved with conditions, see attached.



Owner's Authorization for Applicant/Agent

FLAGLER COUNTY, FLORIDA

1769 E. Moody Boulevard, Suite 105

Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project # _____

Stephenson, Wilcox & Associates, Inc. _____, is hereby authorized TO ACT ON BEHALF OF Kg Gg Cove, LLC, the owner(s) of those lands described within the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to Flagler County, Florida for an application for Preliminary Plat for Scenic Cove Subdivision.

(ALL PERSONS, WHO'S NAMES APPEAR ON THE DEED MUST SIGN)

By: [Signature]
Signature of Owner

KRISTEN GREGORY, MANAGING PARTNER
Printed Name of Owner / Title (if owner is corporation or partnership)

Signature of Owner

Printed Name of Owner

Address of Owner:

Telephone Number (incl. area code)

200 Ocean Crest Drive, 509
Mailing Address

Phone 404.272-5866

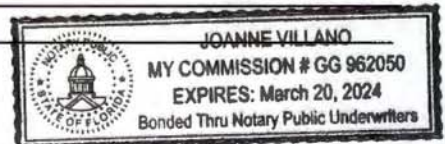
Palm Coast, FL 32137
City State Zip

STATE OF FLORIDA

COUNTY OF FLAGLER

The foregoing was acknowledged before me this 4th day of DECEMBER 2023 by KRISTEN GREGORY and _____ who is/are personally known to me or who has produced as identification, and who (did) / (did not) take an oath, in my presence

[Signature]
Signature of Notary Public



(Notary Stamp)

<http://www.flaglercounty.org/doc/dpt/centprmt/landdev/owner%20auth.pdf>

Revised 5/08

PREPARED BY AND RETURN TO:
Michael D. Chiumento III, Esquire
Chiumento Law PLLC
145 City Place, Suite 301
Palm Coast, Florida 32164
Attn: Kelly DeVore

Property Appraisers Parcel
Identification Numbers
371031-1550-00000-0111;

WARRANTY DEED

THIS INDENTURE, Made this 6th day of September, 2023, **Hunjan, LLC, a Florida Limited Liability Company**, whose mailing address is 145 City Place, Suite 301, Palm Coast, FL 32164, hereinafter called the Grantor, to **KGJG COVE, LLC, a Florida Limited Liability Company**, whose mailing address is 200 Ocean Crest Drive #509, Palm Coast, FL 32137, hereinafter called the Grantee:

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

WITNESSETH, That said Grantor, for and in consideration of the sum of Two Million Two Hundred Fifty Thousand and 00/100 (\$2,250,000.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee, all that certain land situate in Flagler County, Florida, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

TOGETHER with all the tenements, hereditament and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

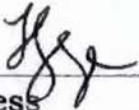
SUBJECT TO taxes for the year 2023 and subsequent years; Assessments or Owner Association, Covenants, Restrictions, Easements, Reservations and Limitations of Record, if any.


AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2022.

IN WITNESS WHEREOF, the Grantor has signed sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Hunjan, LLC, a Florida limited liability company


Witness
Printed Name: Leah Sarge
PO Address: 301 - 1665 Ellis St

By: 
Linda F. Sjoman, Manager


Witness **KYLE J. RAMSEY**
Printed Name: LAWYER
Pushor Mitchell LLP
PO Address: 301 - 1665 Ellis Street
Kelowna, BC V1Y 2B3
Phone: 250-869-1259

State/Country of CANADA
County/Province of BRITISH COLUMBIA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 15 day of August, 2023 by Linda F. Sjoman, Manager of Hunjan, LLC who is personally known or has produced a driver's license as identification.

[Seal]


Notary Public
Print Name: Kyle J Ramsey
My Commission Expires: N/A

EXHIBIT "A"

Parcel 1:

The North One-Half of the following described parcel:

The North 150 feet of Lot 26, of Resubdivision of Tracts 13-20 and 26, DuPont Estates Subdivision, recorded in Plat Book 3, Page 17, Flagler County, Florida, as shown on plat of said Resubdivision recorded in Plat Book 3, Page 28, Public records of Flagler County, Florida, excepting from the above described property 10 feet on the West side deed to the State of Florida for highway purposes.

Parcel 2:

The North One-Half of the following described parcel:

Being a part of Lots 13 and 26 of the DuPont Estates Subdivision according to plat recorded in Plat Book 3, at Page 17, of the Public records of Flagler County, Florida, and more particularly described as follows:

Beginning at the Northeasterly corner of the said Lot 13 as a point of reference and running thence South 20° 28' 30" East, along the Westerly boundary of the 80 foot right-of-way of State Road No. 140, a distance of 927.60 feet to the point of beginning of this description; thence South 69° 31' 30" West, and parallel to the Northerly boundary of the said Lot 13, a distance of 2591.49 feet, to an intersection with the Easterly boundary of the 500 foot right-of-way of the Florida Intracoastal Waterway; thence South 1° 12' 13" East, along the said right-of-way boundary, a distance of 327.55 feet; thence North 69° 31' 30" East, a distance of 2699.59 feet, to an intersection with the Westerly boundary of State Road No. 140; thence North 20° 28' 30" West along the said right-of-way boundary, a distance of 309.20 feet, to the point of beginning of this description.

PREPARED BY AND RETURN TO:
Michael D. Chiumento III, Esquire
Chiumento Law PLLC
145 City Place, Suite 301
Palm Coast, Florida 32164
Attn: Kelly DeVore
Property Appraisers Parcel
Identification Numbers
371031-1550-00000-0110;

WARRANTY DEED

THIS INDENTURE, Made this 6th day of September, 2023, **John Jerome Hatcher and William Thomas Hatcher, individually and as Successor Co-Trustee(s) of the Hatcher Family Revocable Trust dated September 17, 2019, a Restatement of both the Samuel Thomas Hatcher Family Trust dated March 5, 2001 and the Betty G. Hatcher Family Trust dated March 5, 2001, and any amendments thereto**, whose mailing address is 1509 SW 16th Street, Boynton Beach, FL 33426, hereinafter called the Grantor, to **KGJG COVE, LLC, a Florida Limited Liability Company**, whose mailing address is 200 Ocean Crest Drive #509, Palm Coast, FL 32137, hereinafter called the Grantee:

(Whenever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

WITNESSETH, That said Grantor, for and in consideration of the sum of Two Million Two Hundred Fifty Thousand and 00/100 (\$2,250,000.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee, all that certain land situate in Flagler County, Florida, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property.

TOGETHER with all the tenements, hereditament and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

SUBJECT TO taxes for the year 2023 and subsequent years; Assessments or Owner Association, Covenants, Restrictions, Easements, Reservations and Limitations of Record, if any.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2023.

Robert P. Baydon

Witness

Printed Name: ROBERT P. BAYDON

PO Address: 145 City Pl. Ste 301 Palm Coast FL 32164

[Signature]

Witness

Printed Name: Kelly Devore

PO Address: 145 City Pl. Ste 301 Palm Coast FL 32164

State of Florida
County of Flagler

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 16 day of August, 2023 by William Thomas Hatcher, individually and as Successor Co-Trustee of the Hatcher Family Revocable Trust who are personally known or have produced drivers' licenses as identification.

[Seal]



Hatcher Family Revocable Trust

By: William Thomas Hatcher

William Thomas Hatcher, individually and as Successor Co-Trustee

[Signature]

Notary Public

Print Name: _____

My Commission Expires: _

UNOFFICIAL COPY

IN WITNESS WHEREOF, the Grantor has signed sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Hatcher Family Revocable Trust

By: [Signature]
John Jerome Hatcher, individually and as Successor Co-Trustee

[Signature]
Witness

Printed Name: ROBERT P. BAYLON
PO Address: 145 City Pl. Ste 301 Palm Coast FL 32164

[Signature]
Witness

Printed Name: Kelly Devore
PO Address: 145 City Pl. Ste 301 Palm Coast FL 32164

State of Florida
County of Hatch

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 10th day of August, 2023 by John Jerome Hatcher, individually and as Successor Co-Trustee of the Hatcher Family Revocable Trust who are personally known or have produced drivers' licenses as identification.

[Signature]

Notary Public
Print Name: _____
My Commission Expires: _____

[Seal]



EXHIBIT "A"

THE SOUTH ONE HALF OF THE FOLLOWING DESCRIBED PARCEL:

PARCEL 1: The North 150 feet of Lot 26, of Resubdivision of Tracts 13/20 and 26, DuPONT ESTATES SUBDIVISION, recorded in Plat Book 3, Page 17, Flagler County, Florida, as shown on plat of said Resubdivision recorded in Plat Book 3, Page 28, Public Records of Flagler County, Florida, excepting from the above-described property 10 feet on the West side deeded to the State of Florida for highway purposes.

AND

THE SOUTH ONE HALF OF THE FOLLOWING DESCRIBED PARCEL:

PARCEL 2: Being a part of Lots 13 and 26 of the DuPONT ESTATES SUBDIVISION according to plat recorded in Plat Book 3, Page 17 of the Public Records of Flagler County, Florida, and more particularly described as follows: Beginning at the Northeasterly corner of said Lot 13 as a point of reference and running thence South 20°28'30" East, along the Westerly boundary of the 80 foot right-of-way of State Road No. 140, a distance of 927.60 feet to the Point of Beginning of this description; thence South 69°31'30" West, and parallel to the Northerly boundary of the said Lot 13, a distance of 2591.49 feet, to an intersection with the Easterly boundary of the 500 foot right of- way of the Florida Intracoastal Waterway; thence South 1°12'13" East, along the said right-of- way boundary, a distance of 327.55 feet; thence North 69°31'30" East a distance of 2699.59 feet, to an intersection with the Westerly boundary of State Road No. 140; thence North 20°28'30" West along the said right-of-way boundary, a distance of 309.20 feet, to the point of beginning of this description.

December 05, 2023

Mr. Adam Mengle, Director
Flagler County Growth Management
Government Services Building
1769 E Moody Blvd, Bldg 2
Bunnell, FL 32110

**Re: Scenic Cove Residential Planned Unit Development – State Road A-1-A
7032 North Oceanshore Blvd, Palm Coast, FL**

Dear Mr. Mengle,

Please find attached brief project Narrative and a Traffic Impact Statement for the referenced project, being a Planned Unit Development within the Flagler County, Florida.

Trip Generation

The Conceptual Plan was previously reviewed and approved for the Scenic Cove PUD as having 54 single family residential lots having a width of 50 feet. The Preliminary Plans attached have reduced the number of lots from the previously reviewed and approved 54 lots to the now proposed 48 lots having a road frontage width of 60 feet. This reduction accommodates the Stormwater Management requirements, the Utility considerations and the market trends.

An analysis of the proposed PUD was made utilizing the Institute of Transportation Engineers (ITE) Trip Generation, 11th Edition, Updated February 2023. The selected land use code deemed most appropriate for the project was Residential Planned Unit Development, Land Use Code 270. The independent variable of Dwelling Units was selected to compute the trip generation. Based upon 48 Dwelling Units, the estimated Average Weekday Two Way Volume was calculated to be 355 trips, while the 4:00 p.m. to 6:00 p.m. Peak Hour Volumes were estimated to 43 Total trips having a directional distribution of 64% Entering (27 Enter) and 36% Exit (16 Exit), 43 Total.

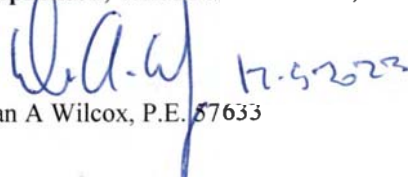
Trip Allocation

Because of the limited Trip Generation by the proposed PUD and its having a de minimis impact to the adjacent roadway system of State Road A-1-A, its' free flow conditions with existing Level of Service at the proposed entry for the project, no additional roadway allocations or impacts were deemed necessary at this time

If you have any questions or need additional information, please feel free to contact me at our office.

Sincerely,

Stephenson, Wilcox & Associates, Inc.


Dan A Wilcox, P.E. 57633

Residential Planned Unit Development (270)

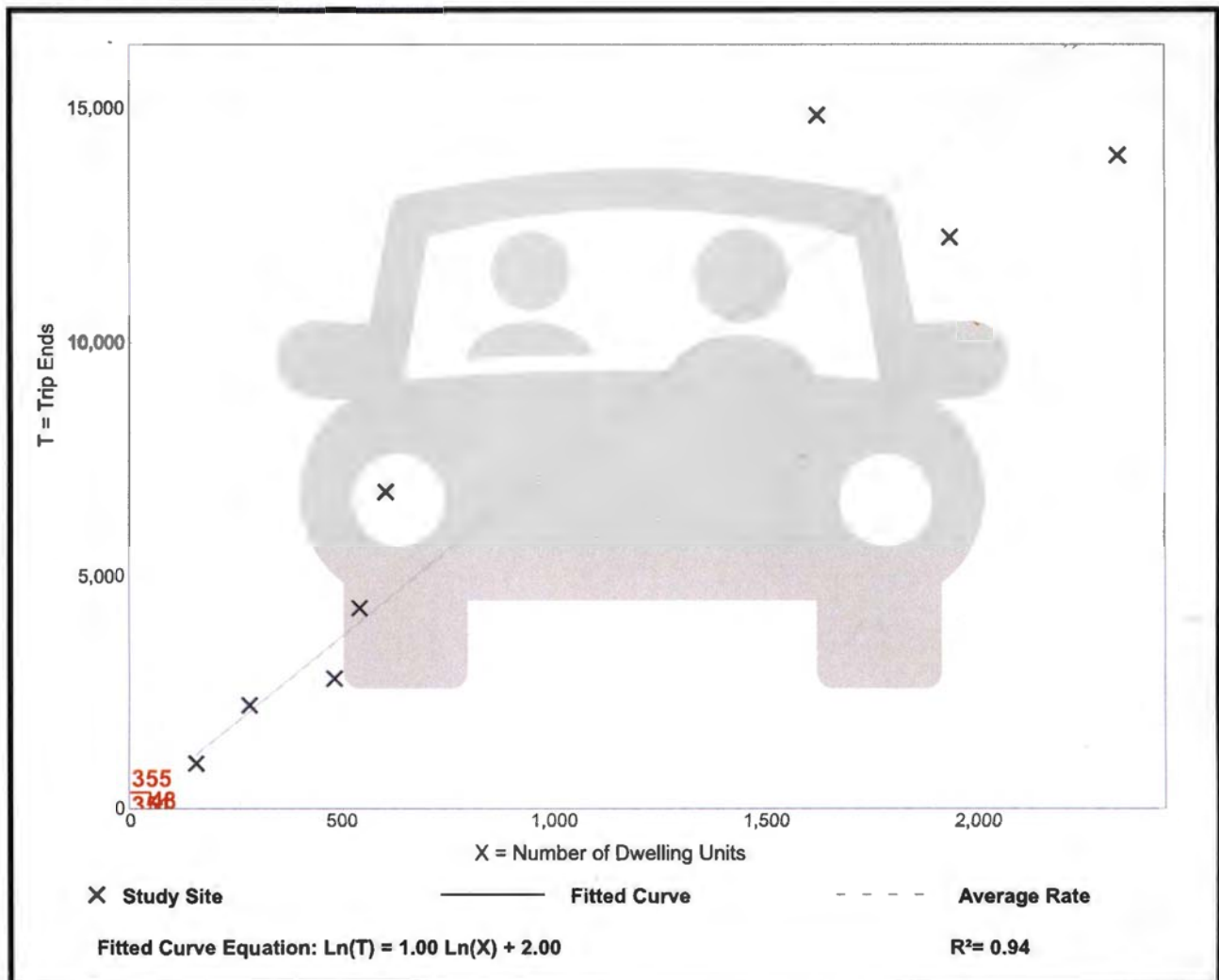
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 8
Avg. Num. of Dwelling Units: 995
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
7.31	5.79 - 11.23	1.78

Data Plot and Equation



Residential Planned Unit Development (270)

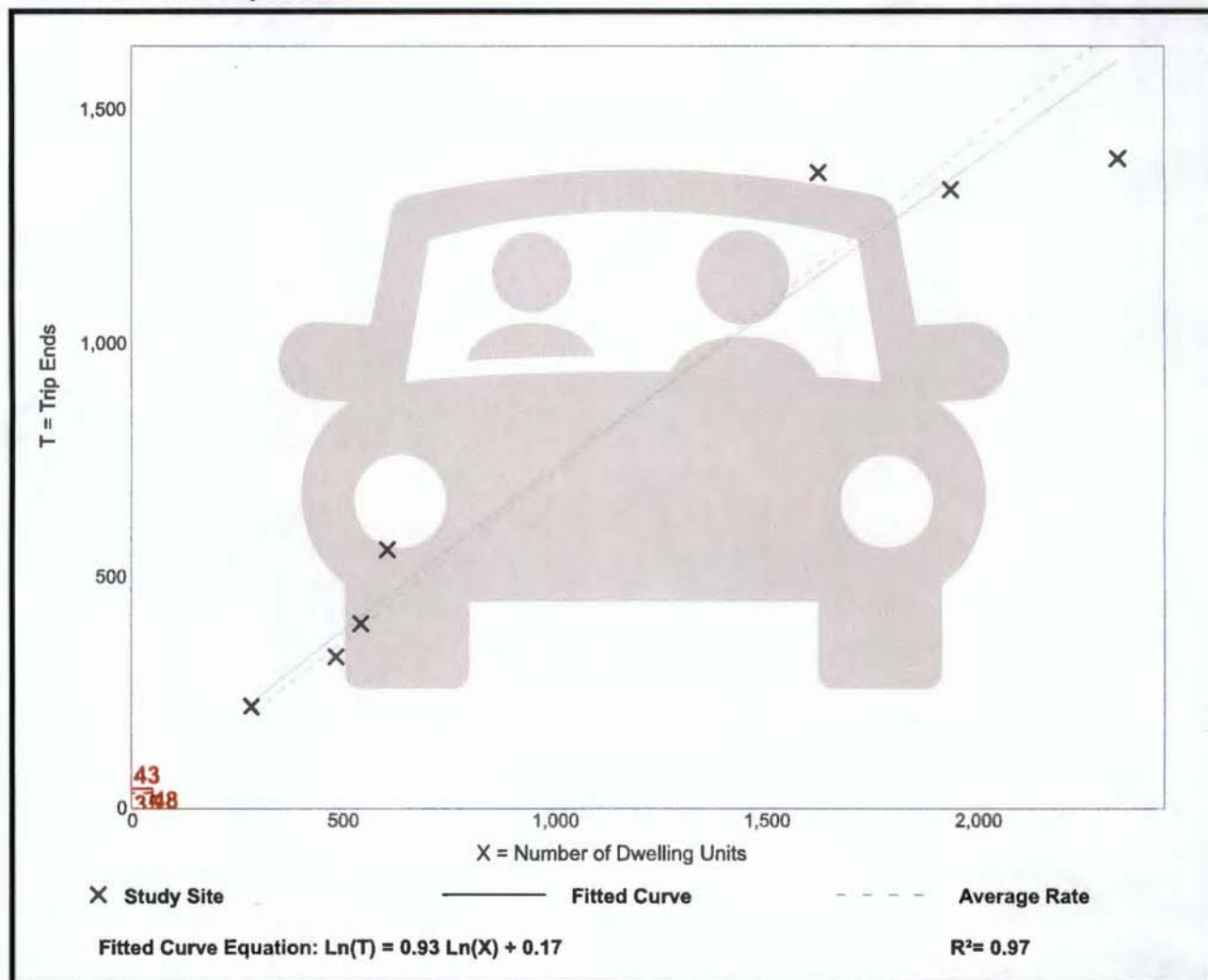
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 7
 Avg. Num. of Dwelling Units: 1115
 Directional Distribution: 64% entering, 36% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.72	0.60 - 0.92	0.11

Data Plot and Equation



Residential Planned Unit Development (270)

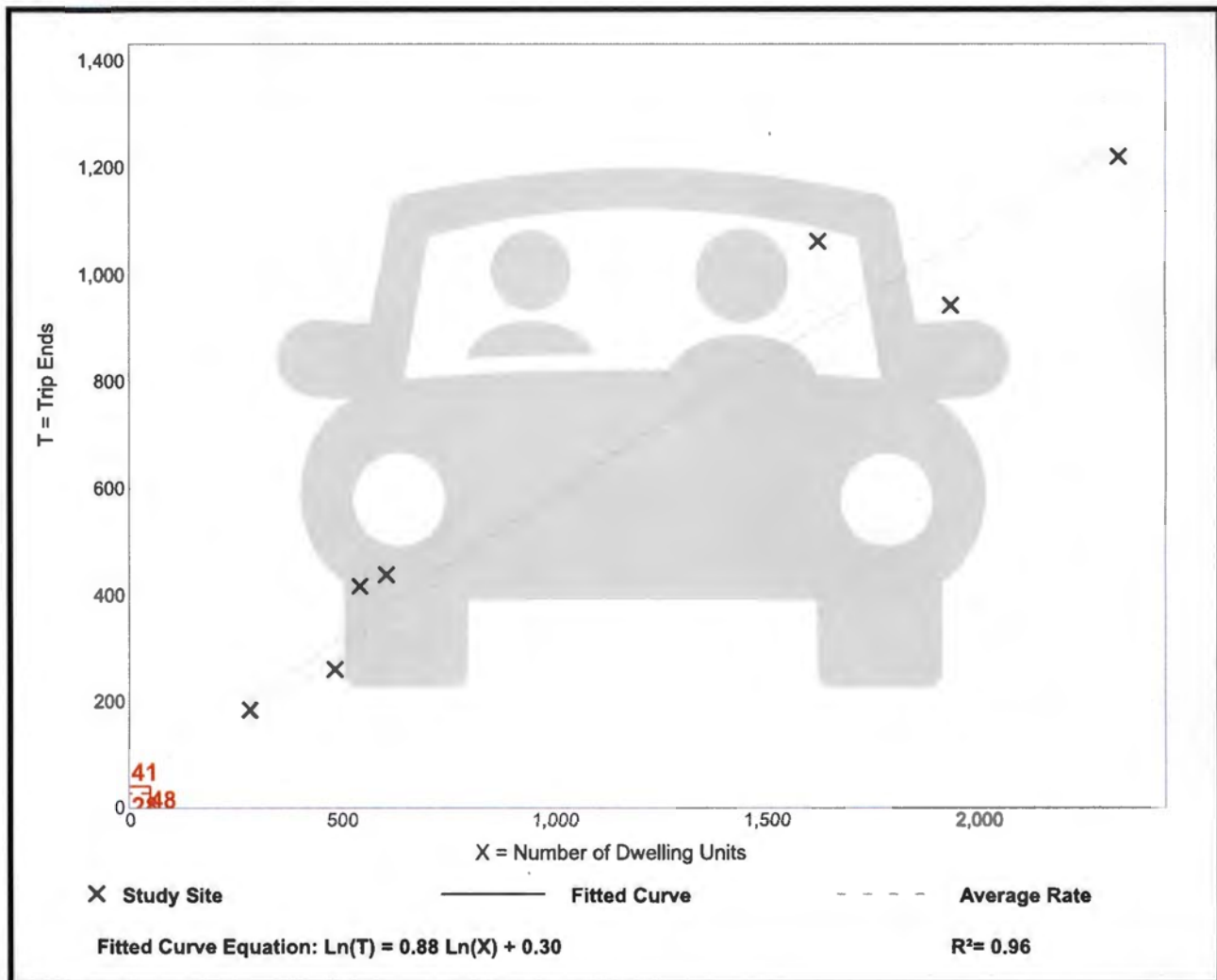
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 7
 Avg. Num. of Dwelling Units: 1115
 Directional Distribution: 23% entering, 77% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.58	0.49 - 0.77	0.10

Data Plot and Equation



Name of Project:	Scenic Cove
Location:	
Application/Project Number:	2023120028
Balance Due PUD SDP	

Based on Number of Acres:	19
Roadway Fee based on Miles:	

Growth Management Fee	\$ 100.00	+	\$ 10.00	*	19	1	\$ 290.00
	base fee		price per acre				(D-PREP)
Development Engineering Fee	\$ 750.00	+	\$ 20.00	*	19	=	\$ 1,130.00
	base fee		price per acre		number of acres		(E-PREPLAT)
Planning Fee	\$ 750.00	+	\$ 20.00	*	19	=	\$ 1,130.00
	base fee		price per acre		number of acres		(PZ-PREP)
Emergency Services Addressing Fee	\$ 50.00					=	\$ 50.00
	base fee						E-911PREP
Fire Fee	\$ 100.00					=	\$ 100.00
	base fee						F-PREP
Additional Fee of \$100 if located in A1A Scenic Corridor	**only add \$100 if located in A1A Scenic Corridor					=	(PZ-SPSC)

Total:	\$ 2,700.00
paid	

*Plus cost of newspaper ad(s) and postage

subdivision
acreage less the
wetlands

Subdivision Construction Plans Review Fees due at TRC Meeting

Subdivision Construction Plan Review	\$ 1,000.00	+	\$ 90.00	*	19	=	\$ 2,710.00
	base fee		price per acre		number of acres		(E-PREPLAT)
Road Way Fee		+	\$ 250.00	*	0.33	=	\$ 82.50
			per mile				(E-PREPLAT)

Sub Total:	\$ 2,792.50
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Total Fee:	\$ 5,492.50
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Payment at submittal

Balance due \$ 5,492.50

Subdivision Construction Inspection Fees due at Land Development Permit

Base fee	\$ 500.00	+	\$ 150.00	*	19	=	\$ 3,350.00
	base fee		price per acre		number of acres		(E-PREPLAT)
Road Way Fee	\$ 3.10	+	\$ 2,000.00	*	1.037	=	\$ 2,074.00
			per mile		number of miles		(E-PREPLAT)

Sub Total:	\$ 5,424.00
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Final Inspection \$500.00

Total Const Insp Fees \$ 5,924.00

Total Pre-Plat fees

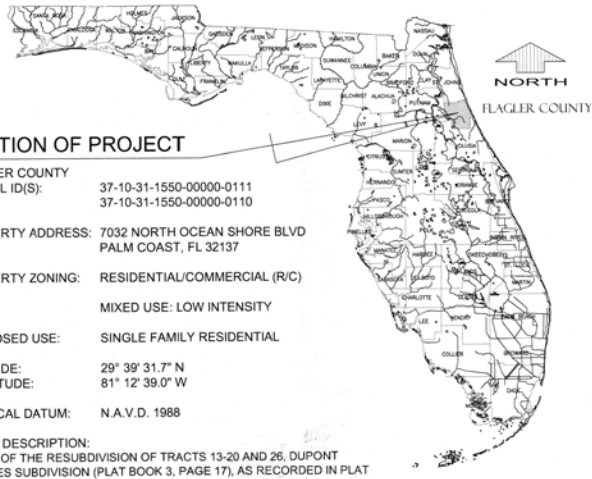
Balance due public notice fees - PUD 0 invoiced separately

TOTAL BALANCE DUE LD Permit & Scan Fees \$ 11,416.50

PRELIMINARY PLANS FOR SCENIC COVE RESIDENTIAL PLAT

SECTION 38, TOWNSHIP 10 SOUTH, RANGE 31 EAST

Reserved for Agency approval stamp



LOCATION OF PROJECT

**FLAGLER COUNTY
PARCEL ID(S):** 37-10-31-1550-00000-0111
37-10-31-1550-00000-0110

PROPERTY ADDRESS: 7032 NORTH OCEAN SHORE BLVD
PALM COAST, FL 32137

PROPERTY ZONING: RESIDENTIAL/COMMERCIAL (R/C)

FNUM: MIXED USE: LOW INTENSITY

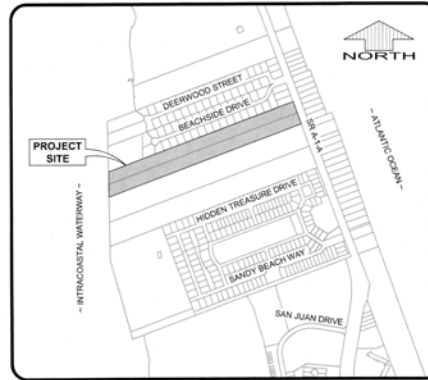
PROPOSED USE: SINGLE FAMILY RESIDENTIAL

LATITUDE: 29° 39' 31.7" N
LONGITUDE: 81° 12' 39.0" W

VERTICAL DATUM: N.A.V.D. 1988

LEGAL DESCRIPTION:

LOT 11 OF THE RESUBDIVISION OF TRACTS 13-20 AND 26, DUPONT ESTATES SUBDIVISION (PLAT BOOK 3, PAGE 17), AS RECORDED IN PLAT BOOK 3, PAGE 28, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, LESS AND EXCEPT ANY PART OF LOT 11 LYING WITHIN THE RIGHT-OF-WAY OF STATE ROAD A1A (AKA NORTH OCEANSHORE BOULEVARD).



LOCATION MAP
N.T.S.

INDEX OF DRAWINGS

- C-01 COVER SHEET
- C-02 GENERAL NOTES AND SPECIFICATIONS
- C-03 EXISTING CONDITIONS PLAN
- C-04 BOUNDARY, TOPOGRAPHIC & TREE LOCATION SURVEY
- C-05 STORMWATER POLLUTION PREVENTION PLAN - 1 OF 2
- C-05 STORMWATER POLLUTION PREVENTION PLAN - 2 OF 2
- C-06 MASTER SITE PLAN - 1 OF 2
- C-07 MASTER SITE PLAN - 2 OF 2
- C-08 PAVING, GRADING AND DRAINAGE PLAN - 1 OF 2
- C-09 PAVING, GRADING AND DRAINAGE PLAN - 2 OF 2
- C-10 CONSTRUCTION DETAILS - 1 OF 2
- C-11 CONSTRUCTION DETAILS - 2 OF 2
- C-12 MASTER WATER SYSTEM PLAN - 1 OF 2
- C-13 MASTER WATER SYSTEM PLAN - 2 OF 2
- C-14 MASTER SEWER SYSTEM PLAN - 1 OF 2
- C-15 MASTER SEWER SYSTEM PLAN - 2 OF 2
- C-16 UTILITY DETAILS - 1 OF 3
- C-17 UTILITY DETAILS - 2 OF 3
- C-18 UTILITY DETAILS - 3 OF 3

DBD SOLUTIONS LLC
200 OCEAN CREST DR, UNIT 509
PALM COAST, FL 32137
PHONE: 404.727.5866

LAND SURVEYOR
STEPHENSON, WILCOX & ASSOCIATES INC.
2729 E. MOODY BLVD., STE. 400
BUNNELL, FL 32110
PHONE: 386.437.2363

CIVIL ENGINEER
STEPHENSON, WILCOX & ASSOCIATES INC.
2729 E. MOODY BLVD., STE. 400
BUNNELL, FL 32110
PHONE: 386.437.2363

CLOSURE PLAN:

IN THE EVENT THAT CONSTRUCTION IS ABANDONED PRIOR TO COMPLETION, ALL CONSTRUCTION AND STOCKPILED VEGETATION DEBRIS SHALL BE REMOVED APPROPRIATELY OFFSITE AND ALL FILL SHALL BE REMOVED FROM WITHIN FLOODPLAIN AREAS, LEVELED AND SEEDED.

THE FACILITIES WITHIN THE PUBLIC RIGHT-OF-WAY COMPLY WITH ALL APPLICABLE STANDARDS, INCLUDING THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", "FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS", AND THE LATEST VERSION OF THE LOCAL STANDARD DETAILS.



Know what's below.
Call before you dig.

**swa STEPHENSON, WILCOX
& ASSOCIATES, INC.** (CA#27726 / LB#7672)

CIVIL ENGINEERS • LAND SURVEYORS • CONSULTANTS • PLANNERS
2729 E. MOODY BLVD., STE. 400, P.O. BOX 186 BUNNELL, FL 32110
PHONE: (386) 437-2363 FAX: (386) 437-0030 EMAIL: INFO.SWA@GMAIL.COM

GENERAL CONSTRUCTION NOTES:

1. THERE SHALL BE NO CHANGE OR DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL BY THE ENGINEER OF RECORD AND THE CITY ENGINEER.
2. ALL CLEARING AND GRUBBING DEBRIS TO BE REMOVED FROM THE SITE AND IS PART OF CLEARING AND GRUBBING ITEM. IT IS THE INTENT OF THE OWNER THAT CERTAIN TREES BE DESIGNATED TO BE SAVED AND PROTECTED BY THE CONTRACTOR. IT IS ASSUMED THESE TREES ARE HEALTHY AND ARE EXPECTED TO BE PART OF THE LANDSCAPE DEVELOPMENT. THEREFORE, IF ANY TREE(S) ARE DAMAGED BY CONSTRUCTION OPERATION OR BY OTHER MEANS (EXCLUDING LIGHTNING, WINDSTORM AND OTHER ACTS OF GOD) PERISH WITHIN THE CONSTRUCTION PERIOD, IT WILL BE THE RESPONSIBILITY FOR THE CONTRACTOR TO REMOVE AND DISPOSE OF THEM AS PART OF THEIR CONTRACT. NO ADDITIONAL COMPENSATION WILL BE MADE BY THE OWNER FOR THE LABOR, MATERIAL OR MACHINERY REQUIRED TO REMOVE SAID TREE(S).
3. WHERE EXCAVATIONS ARE IN CLOSE PROXIMITY OF TREES, THE CONTRACTOR SHALL USE EXTREME CARE TO NOT DAMAGE THE ROOT SYSTEMS. NO EQUIPMENT, SUPPLIES OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF THE TREES TO REMAIN AND BE PRESERVED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL OF HIS EMPLOYEES AND SUBORDINATES OF THIS REQUIREMENT AND TO ENFORCE SAME.
4. LAY SOO AROUND ALL INLETS, MITERED ENDWALLS, HEADWALLS, SWALES, LAKE SLOPES, AND 2 FOOT WIDE STRIP ADJACENT TO ALL CURBING, AND AS DIRECTED BY THE ENGINEER. ALL PROPOSED GROUND ELEVATIONS ARE FINISHED SOO ELEVATIONS. FINISHED EARTHWORK GRADING WILL BE 0.2 FEET BELOW ELEVATIONS SHOWN TO ALLOW FOR SOO THICKNESS. SOODING INCLUDES MAINTAINING SLOPES AND SOO UNITS. COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED WHICHEVER COMES LAST. ALL EROSION SILTATION AND MAIN TAINING GRADES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL PROJECT IS COMPLETE AND ACCEPTED BY OWNER.
5. "CALL SUNSHINE" (1-800-433-4770) GAS, E. FIRE, THE CITY OF PALM COAST UTILITIES AND TELEPHONE COMPANY PRIOR TO CONSTRUCTION AND CONNECTION TO EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING UTILITIES FROM DAMAGE.
6. ALL UTILITY LINES, STORM DRAIN LINES AND ACCESSORIES SUCH AS, BUT NOT LIMITED TO: MANHOLES, CLEANOUTS, SEWER AND WATER SERVICES, VALVES, FIRE HYDRANTS AND INLETS WILL BE CONSTRUCTED TO ALIGNMENT AND LOCATIONS SHOWN ON PLANS UNLESS OTHERWISE DIRECTED BY THE ENGINEER OF RECORD.
7. CLEARING, GRUBBING STRIPPING, AND COMPACTION WILL BE INSPECTED BY THE ENGINEER PRIOR TO FILLING.
8. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, PRESERVE AREAS OR NATURAL AREAS WITHIN AND ADJOINING THE AREA OF CONSTRUCTION ACTIVITY SHALL BE PROTECTED BY ERECTION OF TREE PROTECTION BARRICADES AND/OR SILT BARRIERS. TREE PROTECTION BARRICADES SHALL MEET THE STANDARDS OF THE JURISDICTIONAL AUTHORITY. SILT BARRIERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "BEST MANAGEMENT PRACTICE GUIDELINES" AND THE BMP DETAILS SHOWN ON THE CONSTRUCTION PLANS. THE ENGINEER WILL DETERMINE THE EXTENT AND TYPE OF PROTECTIVE MEASURES TO BE CONSTRUCTED FOR PROTECTION OF PRESERVE AREAS SUBJECT TO THE APPROVAL OF THE JURISDICTIONAL AUTHORITY. THE ENGINEER SHALL BE NOTIFIED WHEN PRESERVE AREA BOUNDARIES ARE IN PLACE.
9. TOPOGRAPHIC INFORMATION PROVIDED BY THE SURVEYOR IS OF RECORD.
10. A SEPARATE BUILDING PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION OF ANY RETAINING WALL SYSTEM AND ALL MASONRY OR ENGINEERED STYROFOAM PRIVACY WALLS.
11. ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
12. ALL MECHANICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO HEATING, VENTILATING AND AIR CONDITIONING MACHINERY SHALL BE SCREENED FROM PUBLIC VIEW. SCREENING SHALL EXTEND AT LEAST ONE FOOT ABOVE OBJECT TO BE SCREENED, AND MEETS THE REQUIREMENTS OF THE FLAGLER COUNTY ZONING AND BUILDING DEPARTMENT.
13. ALL SIDE SLOPES SHALL BE A MINIMUM OF 4 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE STATED HEREIN.
14. THERE ARE NO KNOWN EXISTING WELLS ON SITE. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE ENGINEER WITHIN 24 HOURS. ANY WELL DISCOVERED WILL BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR.
15. ALL STORMWATER DRAINAGE PIPE JOINTS SHALL BE WRAPPED PER THE LATEST EDITION OF THE STANDARD F.D.O.T. INDEX SPECIFICATIONS.
16. SIGN POSTS SHALL CONFORM, AS A MINIMUM WITH FOOT, MUTCD, AND FLAGLER COUNTY STANDARDS AND SPECIFICATIONS.

STORMWATER:

POST DEVELOPMENT RUNOFF DOES NOT EXCEED PRE-DEVELOPMENT RUNOFF FOR A 25-YEAR, 24-HOUR STORM EVENT THE PROJECT IS CONTROLLED BY SURFWMO ERP PERMIT MODIFICATION.

WATER AND SEWER:

WATER - POTABLE WATER SUPPLY SHALL BE PROVIDED BY THE CITY OF PALM COAST.
SEWER - WASTEWATER COLLECTION AND TREATMENT SHALL BE PROVIDED BY THE CITY OF PALM COAST AND FDP.

ROADWAY EASEMENTS:

ACCESS TO THIS PROJECT IS PROVIDED DIRECT FROM STATE ROAD A1A.

UTILITY EASEMENTS:

EASEMENTS WILL BE PROVIDED FOR WATER AND SEWER LINES IN ACCORDANCE WITH FLAGLER COUNTY DEVELOPMENT REGULATIONS. WATER LINES WILL BE LOCATED OUTSIDE PAVED AREAS WHERE PRACTICAL. DRAINAGE EASEMENTS ARE SHOWN ON THE PLANS.

BUILDING DEFINITION:

BUILDINGS SHALL BE ONE STORY, WITH A HEIGHT OF 35 FEET.

ACCESSIBILITY:

ALL FACILITIES CONTAINED HEREIN HAVE BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE.

PAVEMENT MARKINGS:

ALL PAVEMENT MARKINGS EXCEPT PARKING STALLS, SHALL BE ALKYD THERMOPLASTIC 90 MILS IN THICKNESS.

TREE PROTECTION:

A TREE REMOVAL AND PROTECTION PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION FOR THE PROPOSED PROJECT IN ACCORDANCE WITH FLAGLER COUNTY TREE PROTECTION ORDINANCE.

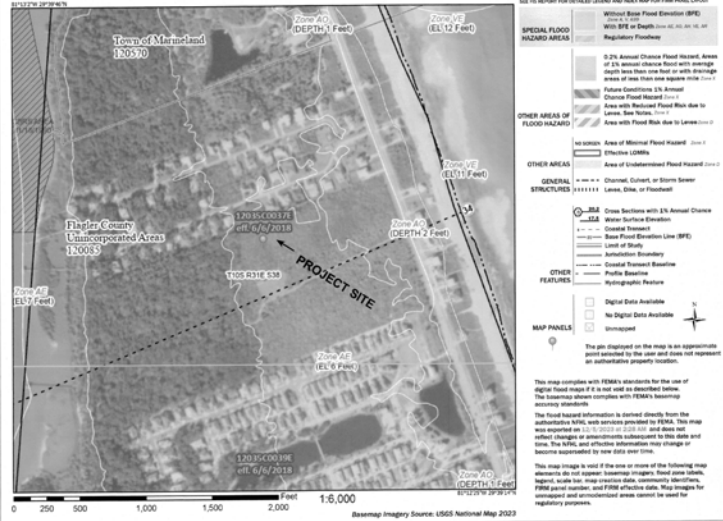
PRELIMINARY PLANS ONLY
DECEMBER 2023
PROJECT NAME
**SCENIC COVE
RESIDENTIAL PLAT**

DAN A. WILCOX, P.E.
P.E. No. 07633
STATE OF FLORIDA
04/27/08
Not valid without the signature and the original record
seal of a Florida Licensed Engineer



ZONING MAP

National Flood Hazard Layer FIRMette



FEMA FIRM MAP



Reserved for Agency approval stamp

swa STEPHENSON, WILCOX & ASSOCIATES, INC. CIVIL ENGINEERS • LAND SURVEYORS • CONSULTANTS • PLANNERS

FOR DBD SOLUTIONS LLC 200 OCEAN CREST DR. UNIT 509 PALM COAST, FL 32137 PHONE: 404.727.2866

REVISIONS

EXISTING CONDITIONS PLAN
SCENIC COVE
RESIDENTIAL PLAT

DATE: 02/26/2024
DRAWN BY: JRM
CHECKED BY: JRM
APPROVED BY: JRM

SAVA A. WILCOX, P.E., F.S.M.
STATE OF FLORIDA

SHEET NO. C-02

AERIAL

SURVEY LEGEND

C	12" IRON ROD SET "L&R"	L.E.	LANDSCAPE EASEMENT
IR	5/8" IRON ROD FOUND	A.S.	ACCESS EASEMENT
IP	1/2" IRON PIPE	N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM
ND	NAIL AND DISK SET "L&R"	N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
PC	PERMANENT CONTROL POINT	CONC.	CONCRETE
PM	PERMANENT MONUMENT FOUND	BM	VERTICAL BENCHMARK
PR	PERMANENT REFERENCE MONUMENT	TM	TEMPORARY VERTICAL BENCHMARK
FB	FOUND BENCHMARK	TOB	TOP OF BANK
LI	LICENSED SURVEYOR	TOE	TOE OF SLOPE
PSW	PROFESSIONAL SURVEYOR & MAPPER	F.F.	FINISH FLOOR ELEVATION
DR	DEED RECORDS BOOK	INV.	INVERT ELEVATION
PA	PLAT	C.S.	CONCRETE BLOCK & STUCCO CONCRETE MANHOUS UNIT
DR	DEED RECORDS BOOK	CONC.	CONCRETE
PL	PLAT BEARING & DISTANCE	CE	CONCRETE E&B
ME	MEASURED BEARING & DISTANCE	EQP	EQUIPMENT
CA	CALCULATED BEARING & DISTANCE	PEP	PURIFICATION EFFLUENT
CL	CENTER LINE	PP	PUMPING TANK
EP	EDGE OF PAVEMENT	RF	RIP-POWER POLE
ER	EDGE OF ROAD	CR	CABLE TELEVISION RISER
RW	RIGHT OF WAY	FR	FIRE RISER
ROW	RIGHT OF WAY	EM	ELECTRIC METER
A	ANGLE	PH	PHONE
R	RADIUS	OW	OVERHEAD BULBIC
CB	CHORD BEARING	WM	WATER MAIN
CD	CHORD DISTANCE	FM	FORNMAN
PC	POINT OF CURVATURE	SWM	SEWER WATER MAIN
PIC	POINT OF REVERSE CURVATURE	ED	ETOWAH RIVER WATER MANAGEMENT DISTRICT
N/A	NON-RADIAL CURVE	FL	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
PT	POINT OF TANGENCY	FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
IT	POINT OF INTERSECTION	USACE	US ARMY CORPS OF ENGINEERS
U.E.	UTILITY EASEMENT	COPC	CITY OF PALM COAST

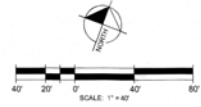
LEGAL DESCRIPTION

LOT 11 OF THE RE-DEVELOPMENT OF TRACTS 13-22 AND 26, DUPONT ESTATES SUBDIVISION (PLAT BOOK 3, PAGE 17), AS RECORDED IN PLAT BOOK 3, PAGE 26 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, LESS AND EXCEPT ANY PART OF LOT 11 LYING WITHIN THE RIGHT-OF-WAY OF STATE ROAD A1A (AKA NORTH OCEANSHORE BOULEVARD).

SURVEY NOTES

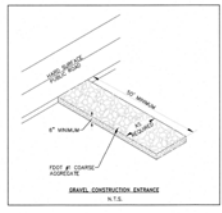
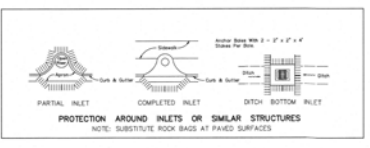
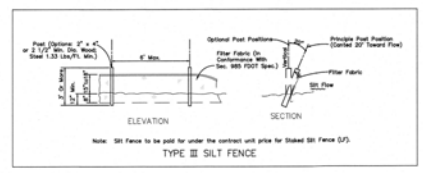
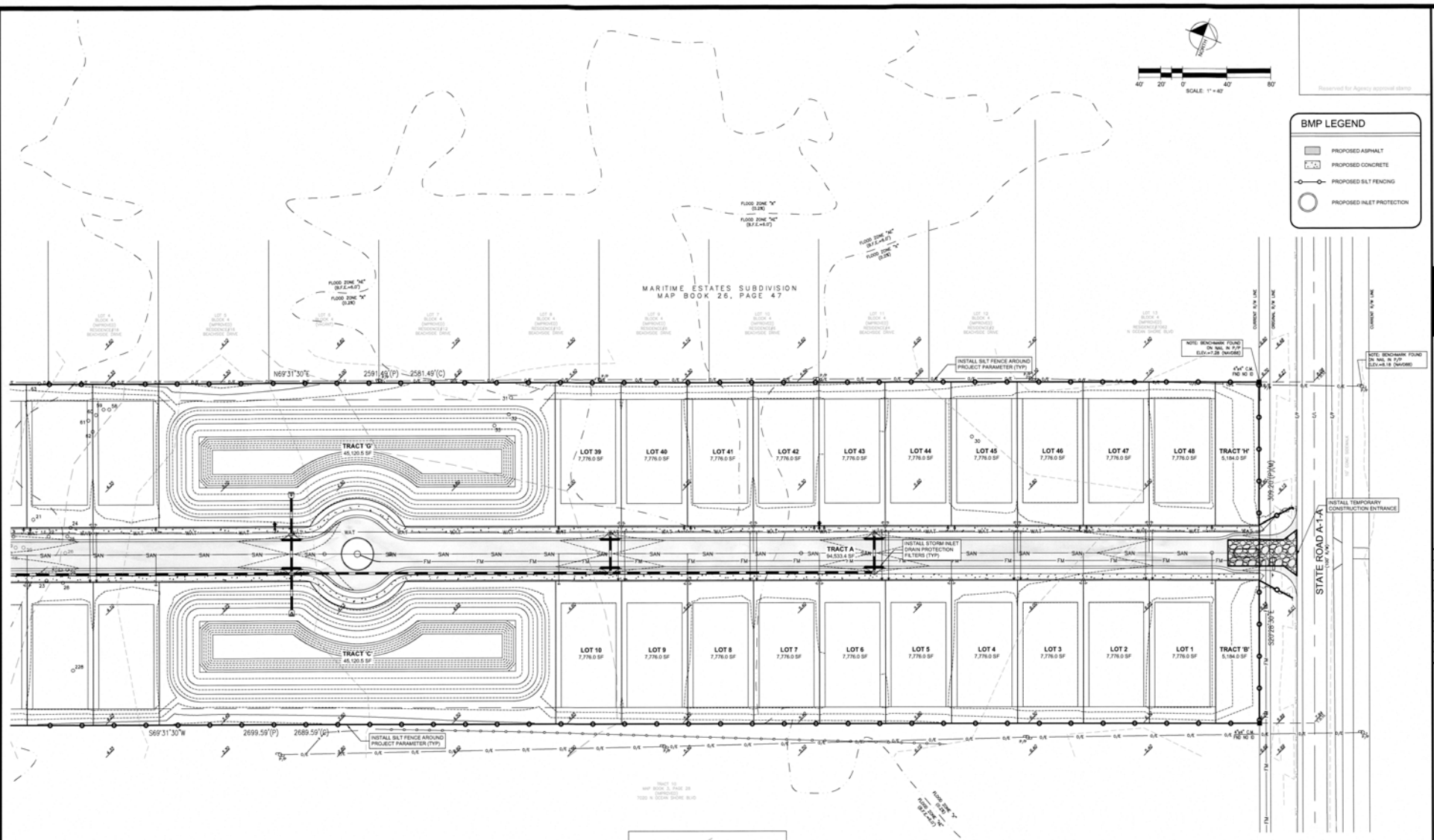
1. DAN A. WILCOX HEREBY CERTIFIES THAT THE SURVEY REPRESENTED HEREON MEETS OR EXCEEDS THE MINIMUM STANDARDS ESTABLISHED PURSUANT TO SECTION 463.027, FLORIDA STATUTES, AND ADOPTED IN CHAPTER 5A17, FLORIDA ADMINISTRATIVE CODE.
2. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
3. PURSUANT TO FLORIDA STATE LAW, THIS SURVEY IS VALID NO MORE THAN 90 DAYS FROM DATE OF LAST FIELD WORK, BEING 10/25/23 (JOB NO. 23-3023).
4. ELEVATIONS REFER TO N.A.V.D. 1988 DATUM AND REFERENCE LOCAL DATUM.
5. UNDERGROUND IMPROVEMENTS AND UTILITIES SHOWN ARE PER AS-BUILT DATA AVAILABLE THROUGH PUBLIC RECORDS.
6. BEARINGS REFER TO PLAT DATUM AND TO THE WEST RIGHT-OF-WAY LINE OF STATE ROAD A-1A AS BEING SCOFFEE.
7. PROPERTY LIES IN FLOOD ZONE "1" (0.2% ANNUAL CHANCE FLOOD) 6" W/ BASE FLOOD ELEVATION + 0.0 WITH REFERENCE TO MAP NO. 13503C00E, EFFECTIVE DATE: JUNE 8, 2018. THIS LOCATION IS BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. FINAL LOCATION AND FLOOD ZONE DETERMINATION REST WITH SAID AGENCY AND BASED ON N.A.V.D. 1988 DATUM.
8. DESCRIPTION PROVIDED BY CLIENT.
9. NO SEARCH FOR ENCUMBERING INSTRUMENTS WAS MADE BY SURVEYOR.
10. ERROR OF CLOSURE MEETS OR EXCEEDS 1/7500 FEET.

LINE	LEGEND	BEARING	DISTANCE	BEARING	DISTANCE	BEARING	DISTANCE	BEARING	DISTANCE
1	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
2	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
3	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
4	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
5	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
6	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
7	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
8	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
9	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
10	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
11	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
12	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
13	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
14	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
15	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
16	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
17	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
18	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
19	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
20	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
21	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
22	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
23	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
24	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
25	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
26	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
27	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
28	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
29	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
30	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
31	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
32	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
33	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
34	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
35	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
36	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
37	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
38	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
39	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
40	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
41	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
42	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
43	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
44	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
45	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
46	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
47	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
48	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
49	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
50	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
51	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
52	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
53	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
54	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
55	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
56	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
57	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
58	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
59	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
60	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
61	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
62	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
63	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
64	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
65	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
66	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
67	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
68	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
69	1"	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)	S 89° 31' 30" E	2591.49 (P)
70									



BMP LEGEND

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED SILT FENCING
- PROPOSED INLET PROTECTION



- BEST MANAGEMENT PRACTICES BMP GUIDELINES:**
- BEST MANAGEMENT PRACTICES DEVICES SHALL BE USED TO ADDRESS EROSION AND SEDIMENT CONTROL.
 - THE PLAN INDICATES TYPICAL BEST MANAGEMENT PRACTICES DEVICE LOCATIONS. REFER TO BMP DETAILS FOR DETAILED PLACEMENT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION OR AS INSTRUCTED BY THE ENGINEER.
 - ALL GRASSING BY EITHER SEED OR SOO SHALL BE INSTALLED AS SOON AS PRACTICAL UPON THE COMPLETION OF FINAL GRADING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL GRASSING IN A HEALTHY GROWING ENVIRONMENT UNTIL FINAL ACCEPTANCE AND CERTIFICATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL AND OTHER HAZARDOUS SUBSTANCES FROM CONTRIBUTING TO THE STORM WATER MANAGEMENT AND COLLECTION SYSTEMS AND PRESERVATION AREAS.

SWA STEPHENSON, WILCOX & ASSOCIATES, INC.
 CIVIL ENGINEERS • LAND SURVEYORS • CONSULTANTS • PLANNERS
 2725 E. MOODY BLVD., STE. 400, P.O. BOX 186 BUNNELL, FL 32110
 PHONE: (386) 437-2363 FAX: (386) 437-0330 EMAIL: INFO@SWA.COM

FOR DBD SOLUTIONS LLC
 200 OCEAN CREST DR. UNIT 509
 PALM COAST, FL 32137
 PHONE: 404-727-5866

STORMWATER POLLUTION PREVENTION PLAN - 1 OF 2
 SCENIC COVE RESIDENTIAL PLAT

SHEET NO. C-04

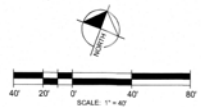
PARCEL TABULATION

PROPOSED PARCEL DATA	DESCRIPTION	AREA
LOTS 1-10	PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	7,776 SF 0.179 AC
LOTS 11-21	PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	7,776 SF 0.179 AC
LOT 22	PROPOSED SINGLE FAMILY RESIDENTIAL LOT	7,008 SF 0.161 AC
LOT 23	PROPOSED SINGLE FAMILY RESIDENTIAL LOT	13,250 SF 0.304 AC
LOT 24	PROPOSED SINGLE FAMILY RESIDENTIAL LOT	6,873 SF 0.160 AC
LOT 25	PROPOSED SINGLE FAMILY RESIDENTIAL LOT	6,873 SF 0.160 AC
LOT 26	PROPOSED SINGLE FAMILY RESIDENTIAL LOT	13,250 SF 0.304 AC
LOT 27	PROPOSED SINGLE FAMILY RESIDENTIAL LOT	7,008 SF 0.161 AC
LOTS 28-38	PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	7,776 SF 0.179 AC
LOTS 39-48	PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	7,776 SF 0.179 AC
TRACT 'W'	PROPOSED PRIVATE ROADWAY	94,533 SF 2.170 AC
TRACT 'B'	PROPOSED LANDSCAPE BUFFER	5,184 SF 0.119 AC
TRACT 'C'	PROPOSED STORMWATER RETENTION	45,121 SF 1.026 AC
TRACT 'D'	PROPOSED CONSERVATION TRACT	45,524 SF 1.048 AC
TRACT 'E'	PROPOSED ACCESS TRACT	7,728 SF 0.177 AC
TRACT 'F'	PROPOSED CONSERVATION TRACT	37,202 SF 0.854 AC
TRACT 'G'	PROPOSED STORMWATER RETENTION	45,121 SF 1.026 AC
TRACT 'H'	PROPOSED LANDSCAPE BUFFER	5,184 SF 0.119 AC
TRACT 'Y'	PROPOSED CONSERVATION TRACT	148,257 SF 3.404 AC

LOT DEVELOPMENT REGULATIONS

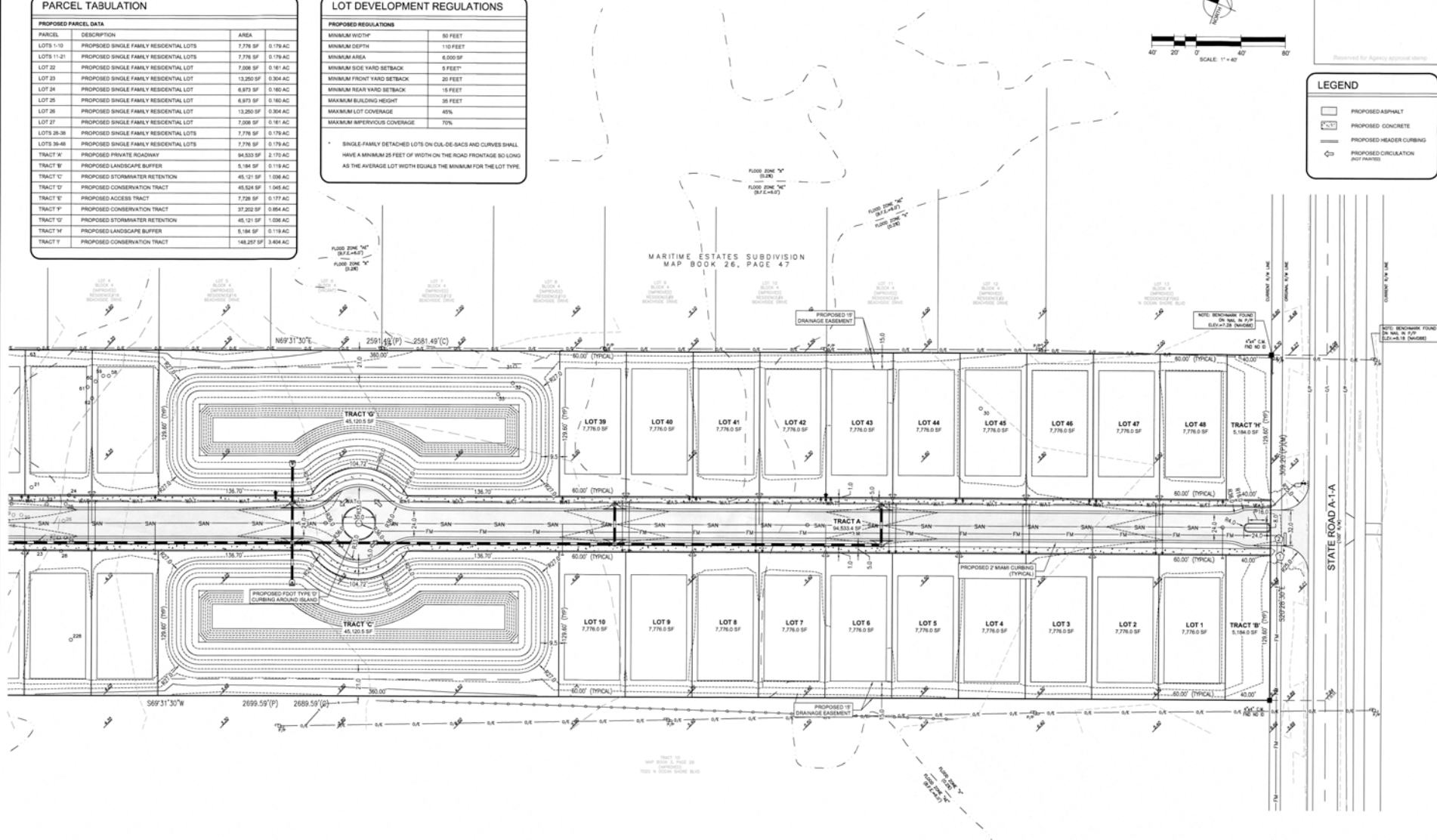
PROPOSED REGULATIONS	VALUE
MINIMUM WIDTH*	50 FEET
MINIMUM DEPTH	110 FEET
MINIMUM AREA	8,000 SF
MINIMUM SIDE YARD SETBACK	5 FEET
MINIMUM FRONT YARD SETBACK	20 FEET
MINIMUM REAR YARD SETBACK	15 FEET
MINIMUM BUILDING HEIGHT	35 FEET
MAXIMUM LOT COVERAGE	45%
MAXIMUM IMPERVIOUS COVERAGE	70%

* SINGLE-FAMILY DETACHED LOTS ON CUL-DE-SACS AND CURVES SHALL HAVE A MINIMUM 25 FEET OF WIDTH ON THE ROAD FRONTAGE SO LONG AS THE AVERAGE LOT WIDTH EQUALS THE MINIMUM FOR THE LOT TYPE.



LEGEND

[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED HEADER CURBING
[Symbol]	PROPOSED CIRCULATION (NOT PAVED)



NOTES

- CONTRACTOR TO ATTEND A MANDATORY PRECONSTRUCTION MEETING WITH CITY STAFF PRIOR TO ANY DISTURBANCE OF THE PROPERTY.
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL PAVEMENT MARKINGS EXCEPT PARKING STALLS SHALL BE 'XALYD' THERMOPLASTIC 90 MILS IN THICKNESS.
- 800 SHALL BE PLACED AT ALL BACK OF CURBS, SIDEWALKS, SIGNALS AND DETENTION AREAS.
- ALL CONCRETE DRAINAGE STRUCTURES, CURBING, SIDEWALKS, ETC. SHALL BE 3,000 PSI, 24-DAY COMPRESSIVE STRENGTH, FIBER REINFORCED.
- THE DESIGN AND CONSTRUCTION OF ALL CURBING, GUTTERS, SIDEWALKS, AND PARKING STALLS SHALL COMPLY WITH THE 'FLORIDA ACCESSIBILITY CODE' (FAC).
- ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON TRAFFIC CONTROL DEVICES AND THE 2018 FLORIDA DESIGN STANDARDS.
- ELEVATIONS REFER TO MVD 1984 DATUM AND REFERENCE LOCAL DATUM.

PAVEMENT MARKING AND SIGN LEGEND

①	STOP SIGN
②	WHITE, 2" WIDE SOLID STRIPE (STOP BAR)

PROJECT DATA SUMMARY

PARCEL ID#:	33-10-31-1950-0000-0111
REVISION:	33-10-31-1950-0000-0113
ADDRESS:	7032 NORTH OCEAN SHORE BOULEVARD, PALM COAST
OWNER/MP AREA:	814,808.97 SF (18.708 AC)
PROJECT AREA:	583,925.07 SF (13.458 AC)
ZONING:	R/C, RESIDENTIAL / COMMERCIAL
FILM:	MIXED USE, LOW INTENSITY
PROPOSED USE:	SINGLE-FAMILY RESIDENTIAL SUBDIVISION

swa STEPHENSON, WILCOX & ASSOCIATES, INC. (C-147276) (L-16742)

CIVIL ENGINEERS • LAND SURVEYORS • CONSULTANTS • PLANNERS

2729 E. HADDY BLVD., BLDG. ADD., P.O. BOX 166 BUNNELL, FL 32110
 PHONE: (386) 437-2556 FAX: (386) 437-2558 EMAIL: swa@swainc.com

FOR DRD SOLUTIONS LLC
 200 OCEAN CREST DR UNIT 509
 PALM COAST, FL 32137
 PHONE: 404.727.5866

REVISIONS

MASTER SITE PLAN
 1 OF 2
 SCENIC COVE
 RESIDENTIAL PLAT

DATE: 01/20/2023
 TIME: 10:00 AM
 USER: JAC
 PROJECT: 33-10-31-1950-0000-0111
 SHEET NO. C-06

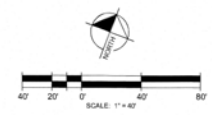
PARCEL TABULATION

PROPOSED PARCEL DATA	AREA
LOTS 1-10 PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	7,776 SF 0.179 AC
LOTS 11-21 PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	7,776 SF 0.179 AC
LOT 22 PROPOSED SINGLE FAMILY RESIDENTIAL LOT	7,008 SF 0.161 AC
LOT 23 PROPOSED SINGLE FAMILY RESIDENTIAL LOT	13,250 SF 0.304 AC
LOT 24 PROPOSED SINGLE FAMILY RESIDENTIAL LOT	6,973 SF 0.160 AC
LOT 25 PROPOSED SINGLE FAMILY RESIDENTIAL LOT	6,973 SF 0.160 AC
LOT 26 PROPOSED SINGLE FAMILY RESIDENTIAL LOT	13,250 SF 0.304 AC
LOT 27 PROPOSED SINGLE FAMILY RESIDENTIAL LOT	7,008 SF 0.161 AC
LOTS 28-38 PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	7,776 SF 0.179 AC
LOTS 39-48 PROPOSED SINGLE FAMILY RESIDENTIAL LOTS	7,776 SF 0.179 AC
TRACT 'K' PROPOSED PRIVATE ROADWAY	84,533 SF 2.170 AC
TRACT 'F' PROPOSED LANDSCAPE BUFFER	5,184 SF 0.119 AC
TRACT 'D' PROPOSED STORMWATER RETENTION	45,121 SF 1.036 AC
TRACT 'C' PROPOSED CONSERVATION TRACT	45,524 SF 1.045 AC
TRACT 'E' PROPOSED ACCESS TRACT	7,728 SF 0.177 AC
TRACT 'G' PROPOSED CONSERVATION TRACT	37,202 SF 0.864 AC
TRACT 'I' PROPOSED STORMWATER RETENTION	45,121 SF 1.036 AC
TRACT 'H' PROPOSED LANDSCAPE BUFFER	5,184 SF 0.119 AC
TRACT 'J' PROPOSED CONSERVATION TRACT	148,257 SF 3.404 AC

LOT DEVELOPMENT REGULATIONS

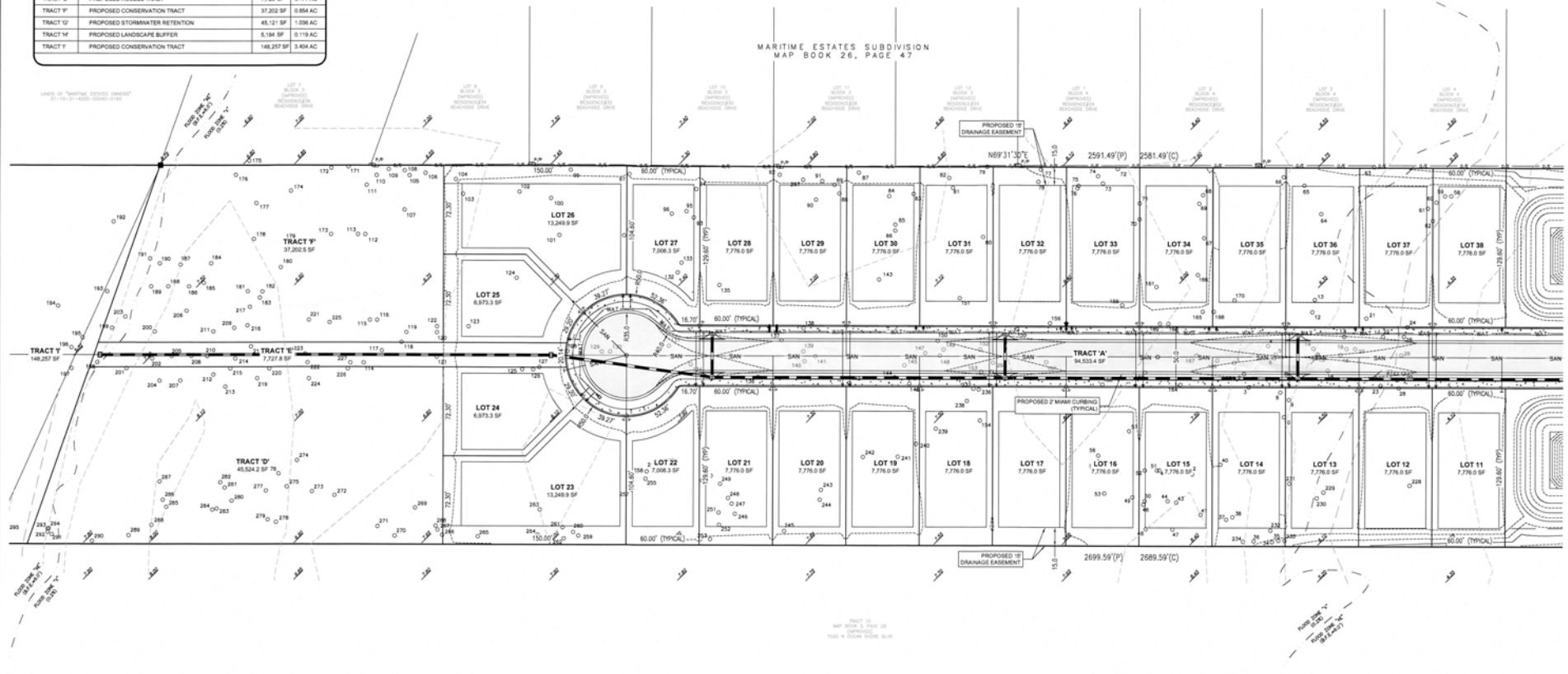
PROPOSED REGULATIONS	50 FEET
MINIMUM WIDTH	110 FEET
MINIMUM DEPTH	110 FEET
MINIMUM AREA	6,000 SF
MINIMUM SIDE YARD SETBACK	5 FEET
MINIMUM FRONT YARD SETBACK	20 FEET
MINIMUM REAR YARD SETBACK	15 FEET
MAXIMUM BUILDING HEIGHT	35 FEET
MAXIMUM LOT COVERAGE	45%
MAXIMUM IMPERVIOUS COVERAGE	70%

* SINGLE-FAMILY DETACHED LOTS ON CUL-DE-SACS AND CURVES SHALL HAVE A MINIMUM 25 FEET OF WIDTH ON THE ROAD FRONTAGE SO LONG AS THE AVERAGE LOT WIDTH EQUALS THE MINIMUM FOR THE LOT TYPE.



LEGEND

[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED HEADER CURBING
[Symbol]	PROPOSED CIRCULATION (NOT PAVED)



- NOTES**
- CONTRACTOR TO ATTEND A MANDATORY PRECONSTRUCTION MEETING WITH CITY STAFF PRIOR TO ANY DISTURBANCE OF THE PROPERTY.
 - ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
 - ALL PAVEMENT MARKINGS EXCEPT PARKING STALLS SHALL BE ALKYLE THERMOPLASTIC 90 MILS IN THICKNESS.
 - 800 SHALL BE PLACED AT ALL BACK OF CURBS, SIDEWALKS, SHOULDER AND DETENTION AREAS.
 - ALL CONCRETE DRAINAGE STRUCTURES (CULVERTS, SIDEWALKS, ETC.) SHALL BE 3,000 PSI 28 DAY COMPRESSIVE STRENGTH, FIBER REINFORCED.
 - THE DESIGN AND CONSTRUCTION OF ALL CURBING, GUTTERS, SIDEWALKS, AND PARKING STALLS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE (FAC).
 - ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON TRAFFIC CONTROL DEVICES AND THE 2018 FLORIDA DESIGN STANDARDS.
 - ELEVATIONS REFER TO NAVD '88 DATUM AND REFERENCE LOCAL DATUM.

PAVEMENT MARKING AND SIGN LEGEND

①	STOP SIGN R-1 W8 36"ØP (DIMENSIONS)
②	WHITE 24" WIDE SOLID STRIPE (STOP MARK)

PROJECT DATA SUMMARY

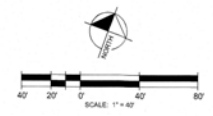
PARCEL (S)	37-10-31-180-0800-0111 37-10-31-180-0800-0110
ADDRESS	7032 NORTH OCEAN SHORE BOULEVARD, PALM COAST
OWNERSHIP AREA	814,908 SF (18.708 AC)
PROJECT AREA	563,629 SF (12.838 AC)
ZONING	R-1C, RESIDENTIAL / COMMERCIAL
FIRM	MIXED USE LOW INTENSITY
PROPOSED USE	SINGLE-FAMILY RESIDENTIAL SUBDIVISION

swa STEPHENSON, WILCOX & ASSOCIATES, INC. (CORPORATE MEMBER)
 CIVIL ENGINEERS • LAND SURVEYORS • CONSULTANTS • PLANNERS
 2725 E. GRADY BLVD., 8TH FLOOR, D. BOYD Bldg. BUNNELL, FL 32110
 PHONE: 407.227.5866 FAX: 407.227.5866

FOR DBD SOLUTIONS LLC
 200 OCEAN CREST DR UNIT 909
 PALM COAST, FL 32137
 PHONE: 404.727.5866

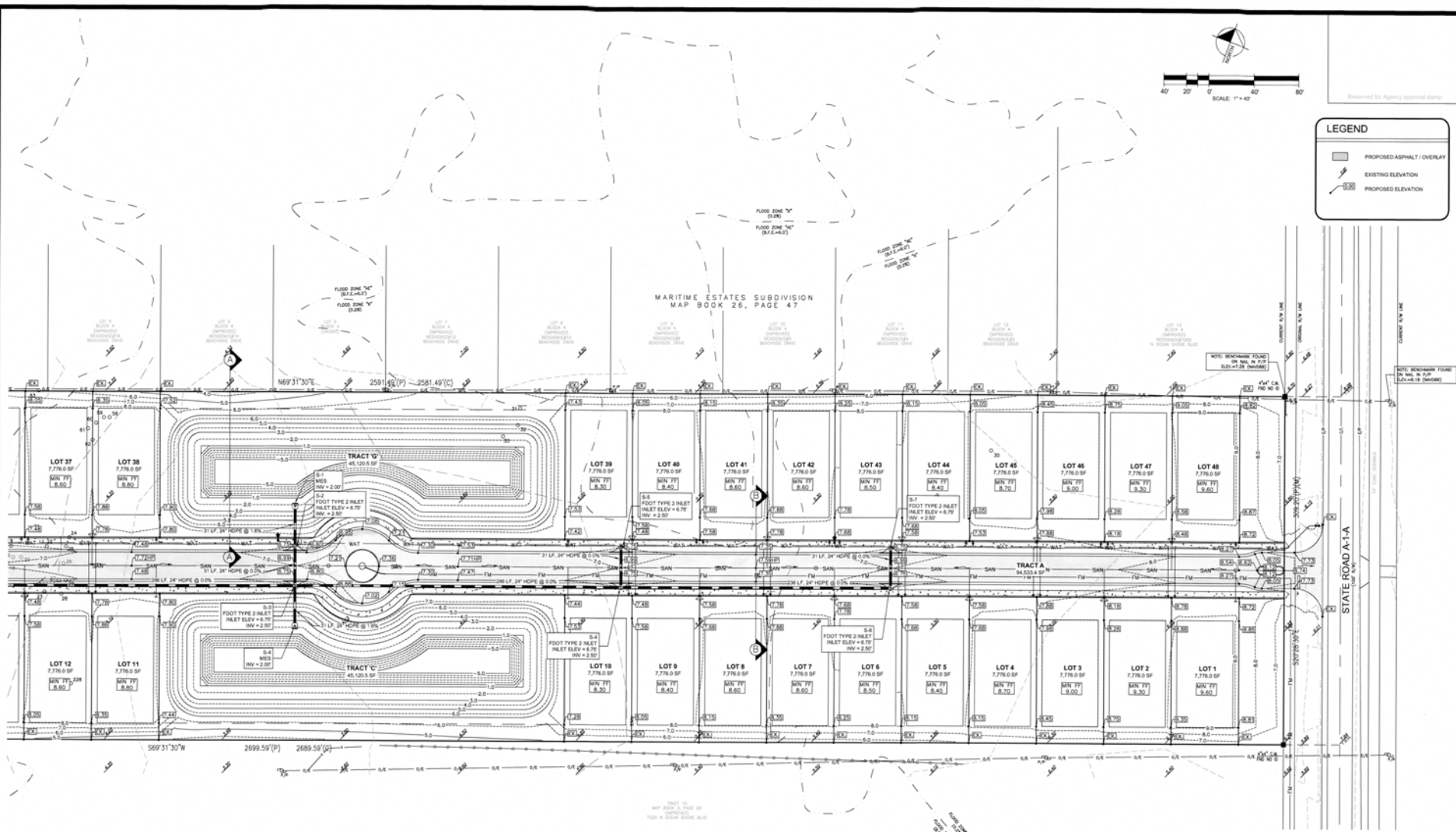
MASTER SITE PLAN
 2 OF 2
 SCENIC COVE
 RESIDENTIAL PLAN

REVISIONS
 SHEET NO. C-07



LEGEND

	PROPOSED ASPHALT / OVERLAY
	EXISTING ELEVATION
	PROPOSED ELEVATION



Revised for Agency approval status

MARITIME ESTATES SUBDIVISION
MAP BOOK 26, PAGE 47

STATE ROAD A-1

- PAVING, GRADING AND DRAINAGE NOTES**
- CONTRACTOR TO ATTEND A MANDATORY PRE-CONSTRUCTION MEETING WITH CITY 855P PRIOR TO ANY DISTURBANCE OF THE PROPERTY.
 - FINISH FLOOR ELEVATIONS (F.F.) TO BE 1 FOOT MINIMUM ABOVE HIGH POINT OF ROAD PROGRADE.
 - ALL PAVEMENT MARKINGS EXCEPT PARKING STALLS SHALL BE "ALKYD" THERMOPLASTIC 30 MILS IN THICKNESS.
 - 800 SHALL BE PLACED AT ALL BACK OF CURBS, SIDEWALKS, SWALES AND DETENTION AREAS.
 - ALL CONCRETE DRAINAGE STRUCTURES, CURBING, SIDEWALKS, ETC. SHALL BE 3,000 PSI, 28 DAY COMPRESSIVE STRENGTH FIBER REINFORCED.
 - THE DESIGN AND CONSTRUCTION OF ALL CURBING, OUTLETS, SIDEWALKS, AND PARKING STALLS SHALL COMPLY WITH THE "FLORIDA ACCESSIBILITY CODE" (FAC).
 - ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON TRAFFIC CONTROL DEVICES AND THE 2018 FLORIDA DESIGN STANDARDS.

swa STEPHENSON, WILCOX & ASSOCIATES, INC. (CANNOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SWA)

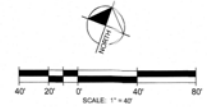
CIVIL ENGINEERS - LAND SURVEYORS - CONSULTANTS - PLANNERS
 2000 OCEAN CREST DR. UNIT 509
 PALM COAST, FL 32137
 PHONE: (386) 337-2500 FAX: (386) 337-0200 EMAIL: INFO@SWA.COM

FOR DBD SOLUTIONS LLC
 2000 OCEAN CREST DR. UNIT 509
 PALM COAST, FL 32137
 PHONE: 404.727.5866

PAVING, GRADING AND DRAINAGE PLAN - 1 OF 2
 SCENIC COVE RESIDENTIAL PLAT

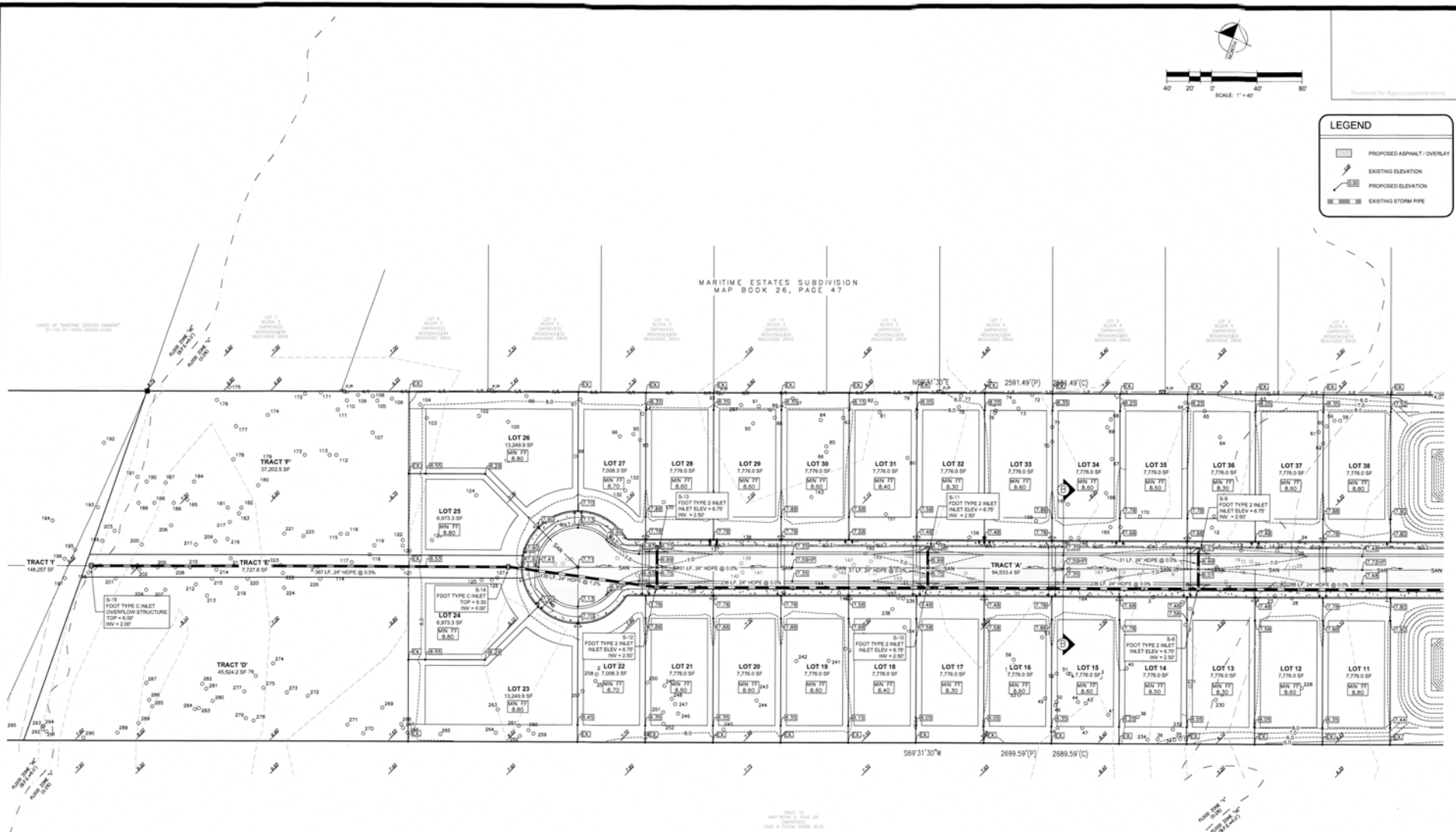
DATE	BY	CHKD

SHEET NO. C-08



LEGEND

	PROPOSED ASPHALT / OVERLAY
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING STORM PIPE



MARITIME ESTATES SUBDIVISION
MAP BOOK 26, PAGE 47

- PAVING, GRADING AND DRAINAGE NOTES**
- CONTRACTOR TO ATTEND A MANDATORY PRE-CONSTRUCTION MEETING WITH CITY STAFF PRIOR TO ANY DISTURBANCE OF THE PROPERTY
 - FINISH FLOOR ELEVATIONS (IF F) TO BE MINIMUM 1 FOOT ABOVE HIGH POINT OF ROAD PROFILES
 - ALL PAVEMENT MARKINGS EXCEPT PARKING STALLS SHALL BE "ALKYD THERMOPLASTIC" 3/8" IN THICKNESS
 - SOOT SHALL BE PLACED AT ALL BACK OF CURBS, SIDEWALKS, SWALES AND DETENTION AREAS
 - ALL CONCRETE DRAINAGE STRUCTURES, CURBS, SIDEWALKS, ETC. SHALL BE 3,000 PSI, 28 DAY COMPRESSIVE STRENGTH, FIBER-REINFORCED
 - THE DESIGN AND CONSTRUCTION OF ALL CURBS, GUTTERS, SIDEWALKS AND PARKING STALLS SHALL COMPLY WITH THE "FLORIDA ACCESSIBILITY CODE" (FAC)
 - ALL LIGHTING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON TRAFFIC CONTROL DEVICES AND THE 2010 FLORIDA DESIGN STANDARDS

swa STEPHENSON, WILCOX & ASSOCIATES, INC. (CARTON LETTER)
 CIVIL ENGINEERS - LAND SURVEYORS - CONSULTANTS - PLANNERS
 2729 E. HODDY BLVD., STE. 400, P.O. BOX 186 BUNNELL, FL 32110
 PHONE: (386) 437-3303 FAX: (386) 437-3303 EMAIL: INFO@SWAINC.COM

FOR DBD SOLUTIONS LLC
 200 OCEAN CREST DR. UNIT 509
 PHONE: 404-272-5866

PAVING, GRADING AND DRAINAGE PLAN - 2 OF 2
 SCENIC COVE
 RESIDENTIAL PLAT

SHEET NO. C-09

Reserved for Agency Approval Stamp

- GENERAL NOTES:**
1. Work this Index with Index 425-001 and Index 425-010.
 2. Confirm finished grade and slope of the Inlet Top to the finished cross slope and grade of the adjacent sidewalk and/or border.
 3. Provide 1/2" minimum cover for steel in the Inlet Top.
 4. Construction of Inlet Tops are either precast or cast-in-place.
 5. For precast units, the rear wall and apron may be precast as a separate panel from the top slab. Provide a minimum of 2 - #4 dowels, extending inward in accordance with Index 425-001 "OPTIONAL CONSTRUCTION DETAILS".
 6. These inlets are designed for use with standard curb and gutter Type B and Type F.
 7. Use only round concrete support posts.

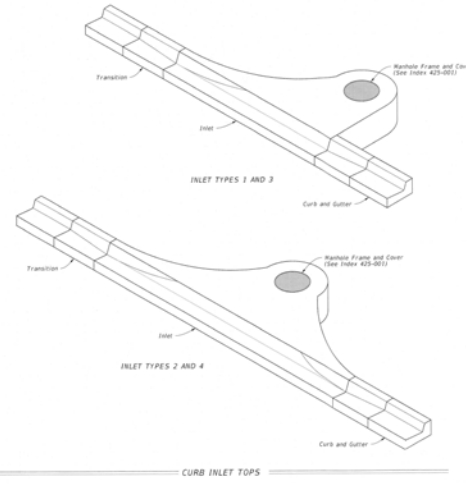


TABLE OF CONTENTS:

Sheet	Description
1	General Notes and Contents
2	Top Dimensional and Reinforcing Details
3	Transverse Dimensional and Reinforcing Details

LAST REVISION: 11/01/20	DESCRIPTION: CURB INLET TOP TYPES 1, 2, 3, AND 4	INDEX: 425-020	SHEET: 1 of 3
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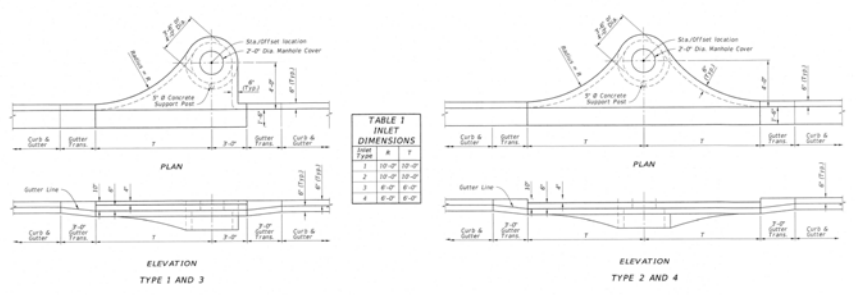
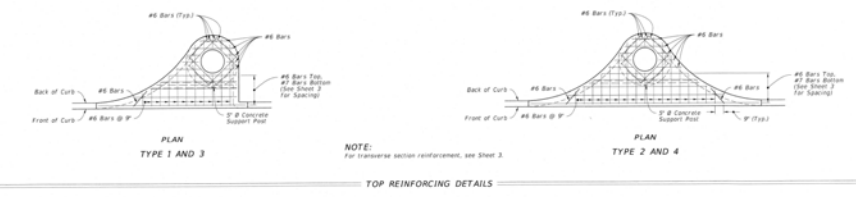


TABLE 1 INLET DIMENSIONS

Inlet Type	W	H
1	10'-0"	10'-0"
2	10'-0"	10'-0"
3	8'-0"	8'-0"
4	8'-0"	8'-0"

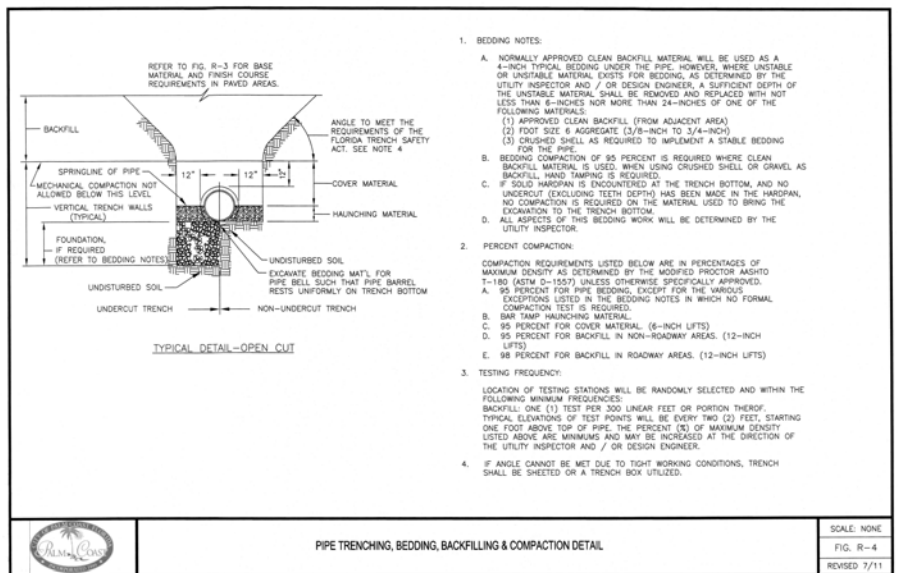
TOP DIMENSIONAL DETAILS



TOP REINFORCING DETAILS

TOP DIMENSIONAL AND TOP REINFORCING DETAILS

LAST REVISION: 11/01/20	DESCRIPTION: CURB INLET TOP TYPES 1, 2, 3, AND 4	INDEX: 425-020	SHEET: 2 of 3
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1. BEDDING NOTES:
 - A. NORMALLY APPROVED CLEAN BACKFILL MATERIAL WILL BE USED AS A 4-INCH TYPICAL BEDDING UNDER THE PIPE. HOWEVER, WHERE UNSTABLE OR UNSTABLE MATERIAL EXISTS FOR BEDDING, AS DETERMINED BY THE UTILITY INSPECTOR AND / OR DESIGN ENGINEER, A SUFFICIENT DEPTH OF THE UNSTABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH NOT LESS THAN 6-INCHES NOR MORE THAN 24-INCHES OF ONE OF THE FOLLOWING MATERIALS:
 - (1) APPROVED CLEAN BACKFILL (FROM ADJACENT AREA)
 - (2) FOOT SIZE 6 AGGREGATE (3/8-INCH TO 3/4-INCH)
 - (3) CRUSHED SHELL AS REQUIRED TO IMPLEMENT A STABLE BEDDING FOR THE PIPE.
 - B. BEDDING COMPACTION OF 95 PERCENT IS REQUIRED WHERE CLEAN BACKFILL MATERIAL IS USED. WHEN USING CRUSHED SHELL OR GRAVEL AS BACKFILL, HAND TAMPING IS REQUIRED.
 - C. IF SOLID HARDPAN IS ENCOUNTERED AT THE TRENCH BOTTOM, AND NO UNDERCUT (EXCLUDING TRENCH DEPTH) HAS BEEN MADE IN THE HARDPAN, NO COMPACTION IS REQUIRED ON THE MATERIAL USED TO BRING THE EXCAVATION TO THE TRENCH BOTTOM.
 - D. ALL ASPECTS OF THIS BEDDING WORK WILL BE DETERMINED BY THE UTILITY INSPECTOR.
2. TRENCH COMPACTION:
 - A. COMPACTION REQUIREMENTS LISTED BELOW ARE IN PERCENTAGES OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR METHOD T-180 (ASTM D-1557) UNLESS OTHERWISE SPECIFICALLY APPROVED.
 - B. 95 PERCENT FOR PIPE BEDDING, EXCEPT FOR THE VARIOUS EXCEPTIONS LISTED IN THE BEDDING NOTES IN WHICH NO FORMAL COMPACTION TEST IS REQUIRED.
 - C. 95 PERCENT FOR COVER MATERIAL, (6-INCH LIFTS)
 - D. 95 PERCENT FOR BACKFILL IN NON-ROADWAY AREAS, (12-INCH LIFTS)
 - E. 98 PERCENT FOR BACKFILL IN ROADWAY AREAS, (12-INCH LIFTS)
3. TESTING FREQUENCY:

LOCATION OF TESTING STATIONS WILL BE RANDOMLY SELECTED AND WITHIN THE FOLLOWING MINIMUM FREQUENCIES:

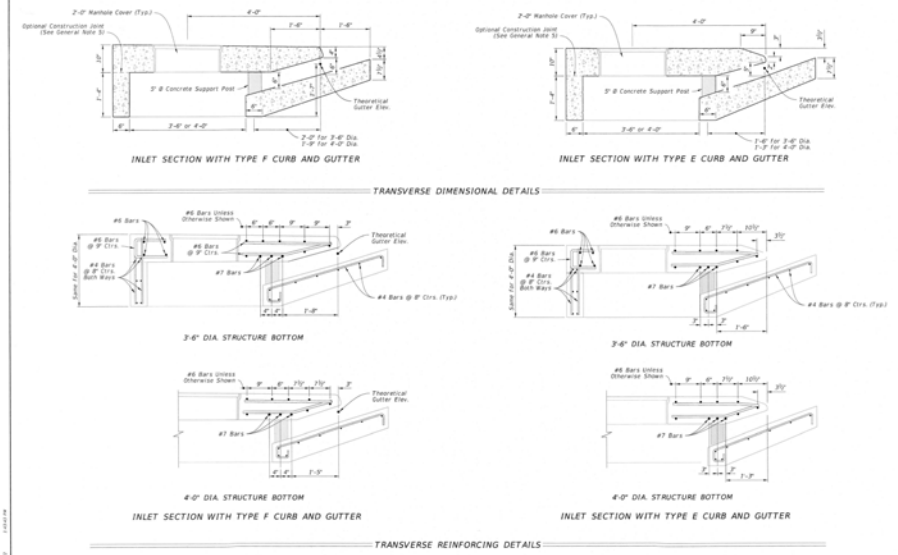
BACKFILL: ONE (1) TEST PER 300 LINEAR FEET OR PORTION THEREOF.

TYPICAL ELEVATIONS OF TEST POINTS WILL BE EVERY TWO (2) FEET, STARTING ONE FOOT ABOVE TOP OF PIPE. THE PERCENT (%) OF MAXIMUM DENSITY LISTED ABOVE ARE MINIMUMS AND MAY BE INCREASED AT THE DISCRETION OF THE UTILITY INSPECTOR AND / OR DESIGN ENGINEER.
4. IF ANGLE CANNOT BE MET DUE TO TIGHT WORKING CONDITIONS, TRENCH SHALL BE SHEETED OR A TRENCH BOX UTILIZED.



PIPE TRENCHING, BEDDING, BACKFILLING & COMPACTION DETAIL

SCALE: NONE
FIG. R-4
REVISED: 7/11



TRANSVERSE DIMENSIONAL AND REINFORCING DETAILS

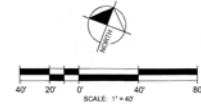
LAST REVISION: 11/01/20	DESCRIPTION: CURB INLET TOP TYPES 1, 2, 3, AND 4	INDEX: 425-020	SHEET: 3 of 3
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SWA STEPHENSON, WILCOX & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS - GEOTECHNICAL ENGINEERS - PLANNERS
 200 OCEAN CREST DR., UNIT 509
 PALM COAST, FL 32137
 PHONE: (386) 437-2383 FAX: (386) 437-0530 EMAIL: INFO@SWA.COM

FOR DBD SOLUTIONS LLC
 200 OCEAN CREST DR., UNIT 509
 PALM COAST, FL 32137
 PHONE: 404-777-5866

CONSTRUCTION DETAILS
 2 OF 2
 SCENIC COVE
 RESIDENTIAL PLAT

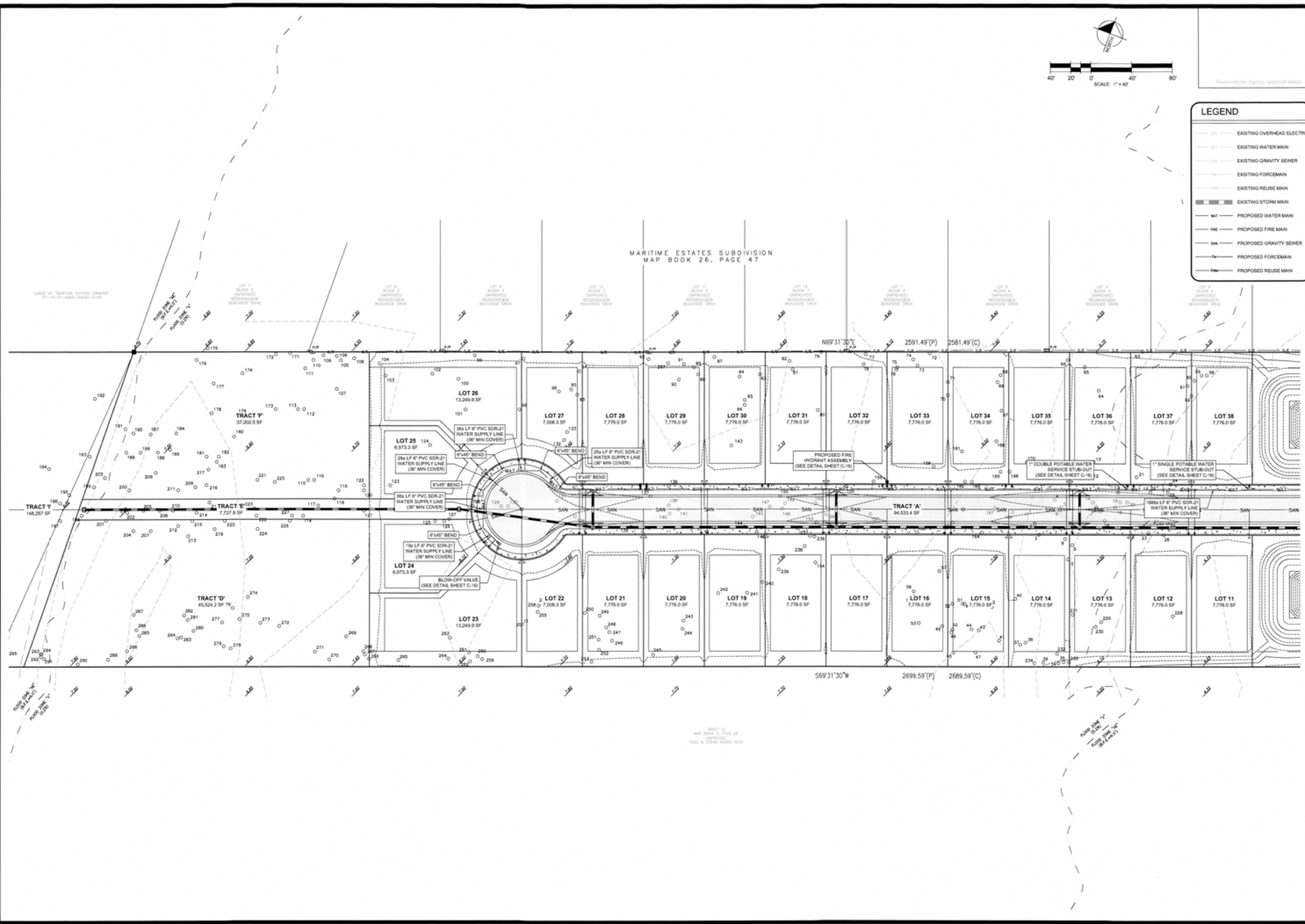
SHEET NO. C-11



Received for Agency approval on:

LEGEND	
	EXISTING OVERHEAD ELECTRIC
	EXISTING WATER MAIN
	EXISTING GRAVITY SEWER
	EXISTING FORCEMAIN
	EXISTING REUSE MAIN
	EXISTING STORM MAIN
	PROPOSED WATER MAIN
	PROPOSED FIRE MAIN
	PROPOSED GRAVITY SEWER
	PROPOSED FORCEMAIN
	PROPOSED REUSE MAIN

MARITIME ESTATES SUBDIVISION
MAP BOOK 26, PAGE 47



swa STEPHENSON, WILCOX & ASSOCIATES, INC. (CORPORATE) (L) (REV) 11/2013
 CIVIL ENGINEERS - LAND SURVEYORS - CONSULTANTS - PLANNERS
 PALM BEACH, FL 33417
 PHONE: (561) 437-2333 FAX: (561) 437-2333 E-MAIL: INFO@SWA.COM

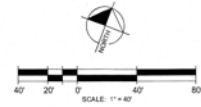
FOR
DBD SOLUTIONS LLC
 200 OCEAN CREST DR UNIT 509
 PALM COAST, FL 32137
 PHONE: 404-727-5866

REVISIONS

MASTER WATER SYSTEM
 PLAN - 2 OF 2
 SCENIC COVE
 RESIDENTIAL PLAT

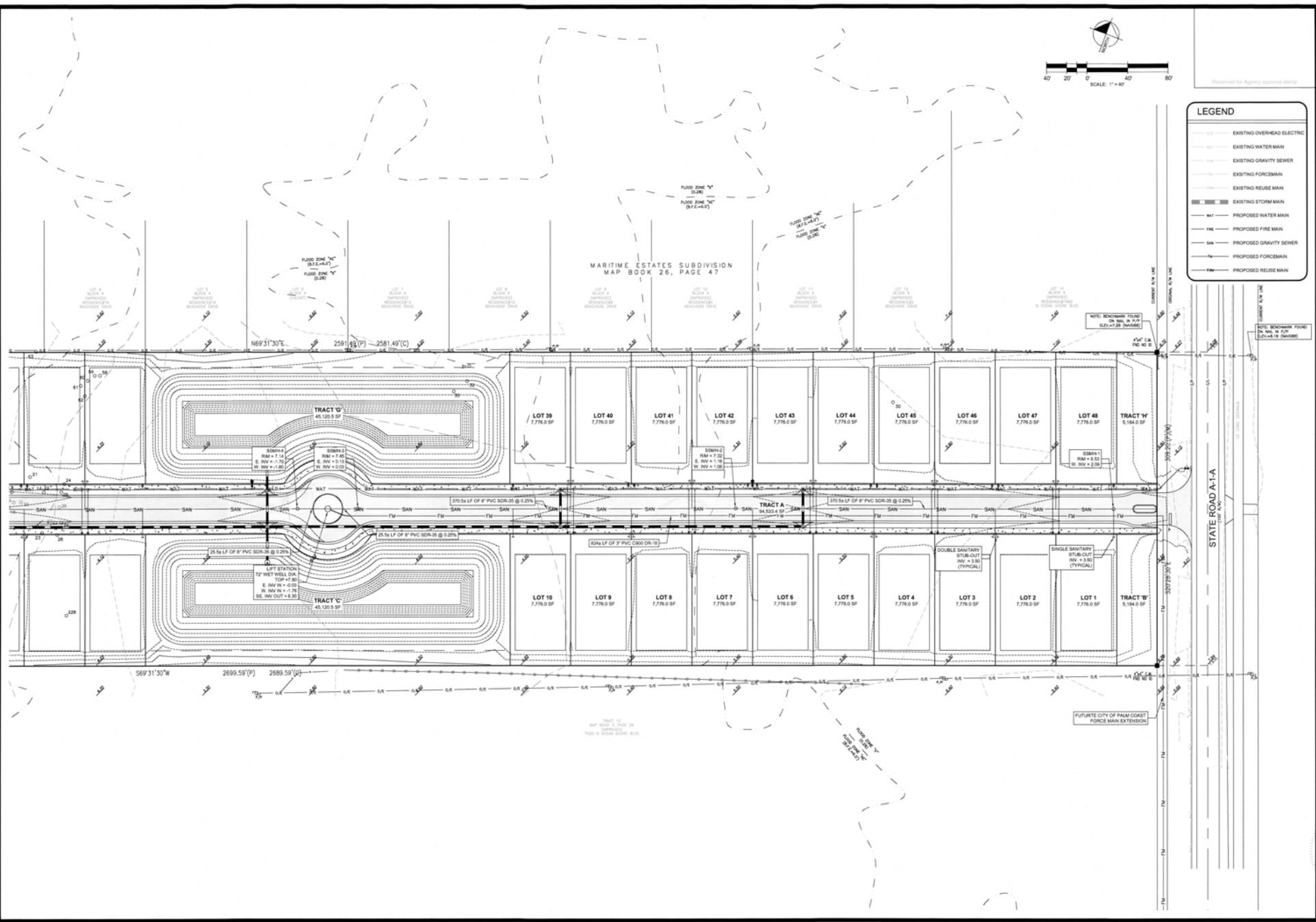
DATE: 11/20/13
 DATE REVISION: 11/20/13
 CHECKED BY: [Signature]
 DATE CHECKED: 11/20/13
 SCALE: 1"=40'
 [Signature]

SHEET NO.
 C-13



Received for Agency approval items

LEGEND	
	EXISTING OVERHEAD ELECTRIC
	EXISTING WATER MAIN
	EXISTING GRAVITY SEWER
	EXISTING FORCEMAN
	EXISTING REUSE MAIN
	EXISTING STORM MAIN
	PROPOSED WATER MAIN
	PROPOSED FIRE MAIN
	PROPOSED GRAVITY SEWER
	PROPOSED FORCEMAN
	PROPOSED REUSE MAIN



SWA STEPHENSON, WILCOX & ASSOCIATES, INC. (CORPORATE) (PRINTED)
 CIVIL ENGINEERS, LAND SURVEYORS, CONSULTANTS - FLORIDA
 2720 E. MASSAVEN BLVD., SUITE 4000, FT. LAUDERDALE, FL 33308
 PHONE: (352) 437-2353 FAX: (352) 437-0333 EMAIL: INFO@SWA.COM

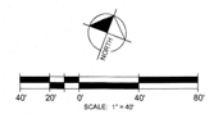
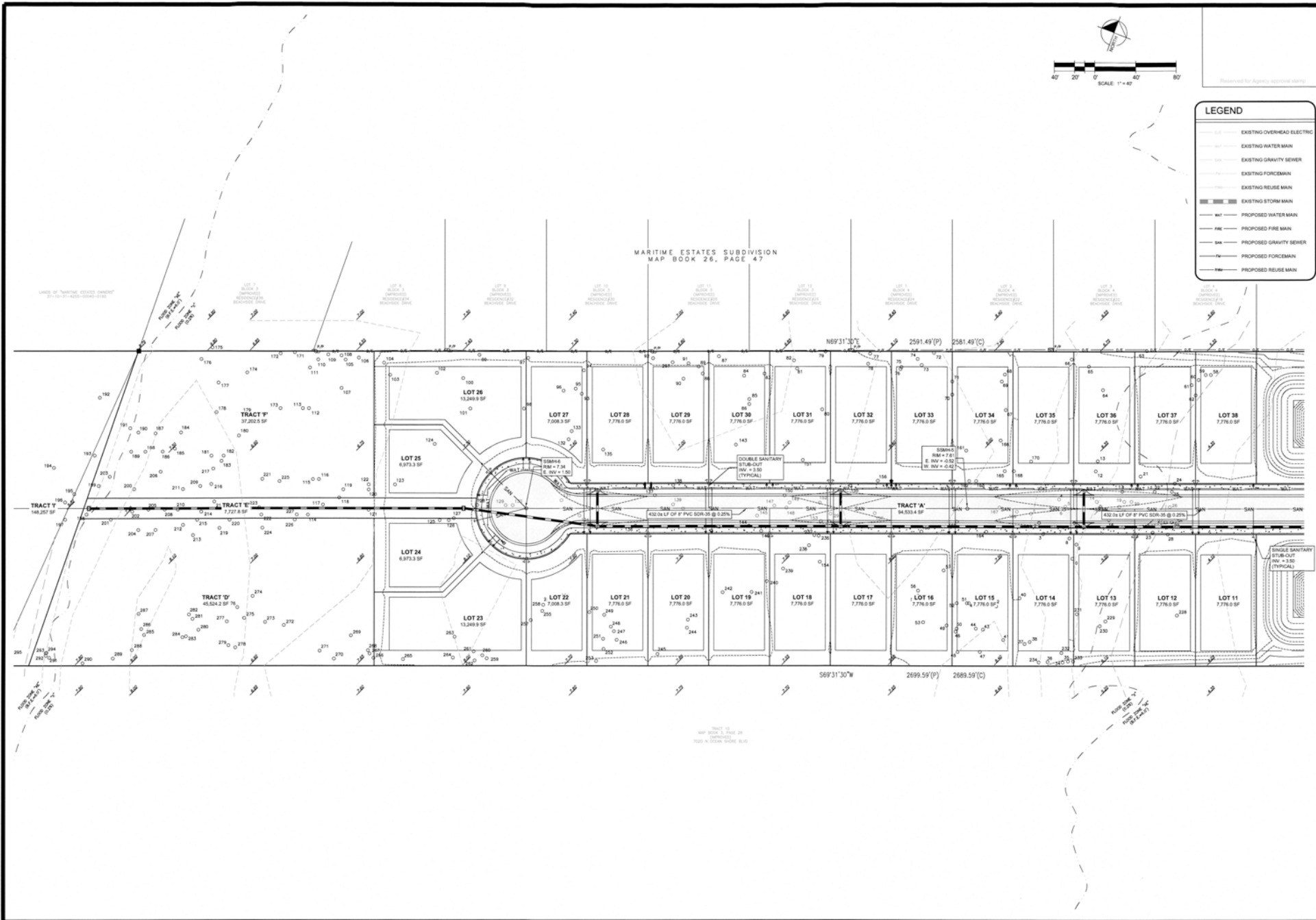
FOR
DBD SOLUTIONS LLC
 200 OCEAN CREST DR. UNIT 509
 PALM COAST, FL 32137
 PHONE: 404-727-5866

REVISIONS

MASTER SEWER SYSTEM
 PLAN - 1 OF 2
 SCENIC COVE
 RESIDENTIAL PLAT

DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
SCALE	

SHEET NO.
 C-14



Received for Agency approval stamp

LEGEND

- EXISTING OVERHEAD ELECTRIC
- EXISTING WATER MAIN
- EXISTING GRAVITY SEWER
- EXISTING FORCEMAIN
- EXISTING REUSE MAIN
- EXISTING STORM MAIN
- PROPOSED WATER MAIN
- PROPOSED FIRE MAIN
- PROPOSED GRAVITY SEWER
- PROPOSED FORCEMAIN
- PROPOSED REUSE MAIN

MARITIME ESTATES SUBDIVISION
MAP BOOK 26, PAGE 47

swa STEPHENSON, WILCOX & ASSOCIATES, INC. (CORPORATE LOGO)
 CIVIL ENGINEERS • LAND SURVEYORS • CONSULTANTS • PLANNERS
 PALM BEACH, FLORIDA
 PHONE: (561) 850-4377 FAX: (561) 850-4378 EMAIL: INFO.SWA@SWA.COM

FOR
DBD SOLUTIONS LLC
 200 OCEAN CREST DR UNIT 509
 PALM COAST, FL 32137
 PHONE: 404-727-5866

REVISIONS

MASTER SEWER SYSTEM
 PLAN - 2 OF 2
 SCENIC COVE
 RESIDENTIAL PLAT

DATE: 08/20/2018
 CHECKED BY: [Signature]
 DATE: 08/20/2018
 SCALE: 1"=40'

SHEET NO.
 C-15

SCENIC COVE

BEING A REPLAT OF TRACT 11, OF RESUBDIVISION OF TRACTS 13-20 AND 26, DUPONT ESTATES SUBDIVISION (MAP BOOK 3, PAGE 28)
SECTION 36, TOWNSHIP 10 SOUTH, RANGE 31 EAST

DEDICATION AND RESERVATION

KNOW ALL MEN BY THESE PRESENTS D&D SOLUTIONS, LLC (DBA 015000132414), A FLORIDA CORPORATION LICENSED TO DO BUSINESS IN FLORIDA, OWNER OF LANDS HEREON, BEING IN SECTION 40, TOWNSHIP 10 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, SHOWN HEREON AS SCENIC COVE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACT "A" (PRIVATE ROAD) IS HEREBY DEDICATED TO THE SCENIC COVE OWNERS ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, FOR STORM WATER MANAGEMENT AND DRAINAGE PURPOSES, SIDEWALKS, DRAINAGE AND UTILITY EASEMENTS, AND OTHER PURPOSES NOT INCONSISTENT WITH THIS RESERVATION, AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF SAID ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO FLAGLER COUNTY.

TRACTS "B" & "C" ARE HEREBY RESERVED FOR THE SCENIC COVE OWNERS ASSOCIATION, AS THE A-1-A SCENIC CORRIDOR BUFFER AS PER ARTICLE 3 FLAGLER LAND DEVELOPMENT CODE.

TRACTS "D" & "E" ARE HEREBY RESERVED FOR THE SCENIC COVE OWNERS ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, FOR STORM WATER MANAGEMENT AND DRAINAGE PURPOSES AND IS THE PERPETUAL MAINTENANCE-OBLIGATION OF SAID ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO FLAGLER COUNTY.

TRACTS "F" & "G" ARE HEREBY RESERVED FOR THE SCENIC COVE OWNERS ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, FOR PURPOSES OF MAINTENANCE OF THE CONSERVATION TRACT AND IS THE PERPETUAL MAINTENANCE-OBLIGATION OF SAID ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO FLAGLER COUNTY.

TRACT "H" IS HEREBY RESERVED FOR THE SCENIC COVE OWNERS ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, FOR STORM WATER MANAGEMENT AND DRAINAGE PURPOSES AND IS THE PERPETUAL MAINTENANCE-OBLIGATION OF SAID ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO FLAGLER COUNTY.

THE DRAINAGE EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED IN PERPETUITY FOR DRAINAGE PURPOSES, THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED THEREON SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE SCENIC COVE OWNERS ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO FLAGLER COUNTY. FLAGLER COUNTY SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO MAINTAIN ANY PORTION OF THE DRAINAGE SYSTEM ENCOMPASSED BY THIS PLAT WHICH IS ASSOCIATED WITH THE DRAINAGE OF PUBLIC STREETS, INCLUDING THE RIGHT TO UTILIZE FOR PROPER PURPOSES ANY AND ALL DRAINAGE, LAKE MAINTENANCE, AND LAKE MAINTENANCE ACCESS EASEMENTS ASSOCIATED WITH SAID DRAINAGE SYSTEM.

THE UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED IN PERPETUITY FOR THE CONSTRUCTION AND MAINTENANCE OF UTILITY FACILITIES, INCLUDING CABLE TELEVISION SYSTEMS. THE INSTALLATION OF CABLE TELEVISION SYSTEMS SHALL NOT INTERFERE WITH THE CONSTRUCTION AND MAINTENANCE OF OTHER UTILITIES.

IN WITNESS WHEREOF, THE ABOVE-NAMED OWNERS HAVE CAUSED THESE PRESENTS TO BE SIGNED, THIS _____ DAY OF _____, 2023.

DEVELOPER

D&D SOLUTIONS, LLC BY AND THROUGH ITS AUTHORIZED REPRESENTATIVE HAS CAUSED THESE PRESENTS TO BE SIGNED IN ITS CAPACITY AND WITH ITS AUTHORITY, AS AUTHORIZED REPRESENTATIVE OF THE COMPANY, DATED THIS _____ DAY OF _____, 2023.

WITNESSES:

WITNESS 1: _____

(PRINTED NAME)

WITNESS 2: _____

(PRINTED NAME)

STATE OF FLORIDA

COUNTY OF FLAGLER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME AND BY MEANS PHYSICAL PRESENCE OR ONLINE NOTARIZATION THIS _____ DAY OF _____, 2023, BY AND THROUGH THE AUTHORIZED REPRESENTATIVE OF D&D SOLUTIONS, LLC.

NOTARY PUBLIC, STATE OF FLORIDA

BY: _____ Date: _____

(printed name)

COMMISSION NO. _____

MY COMMISSION EXPIRES: _____

PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION _____ TYPE OF IDENTIFICATION _____

CAPTION

LOT 11 OF THE RESUBDIVISION OF TRACTS 13-20 AND 26, DUPONT ESTATES SUBDIVISION (PLAT BOOK 3, PAGE 17), AS RECORDED IN PLAT BOOK 3, PAGE 28, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, LESS AND EXCEPT ANY PART OF LOT 11 Lying WITHIN THE RIGHT-OF-WAY OF STATE ROAD A1A (A/R/A NORTH OCEANSIDE BOULEVARD).

TITLE CERTIFICATION

STATE OF FLORIDA

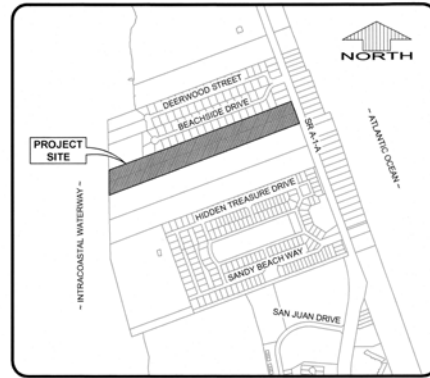
COUNTY OF FLAGLER

I, [NAME], [TITLE], [A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA] (A TITLE INSURANCE COMPANY, AS DULY LICENSED IN THE STATE OF FLORIDA) DO HEREBY CERTIFY THAT I (WE) HAVE EXAMINED THE TITLE TO THE HERE ON DESCRIBED PROPERTY, THAT I (WE) FIND THE TITLE TO THE PROPERTY IS VESTED TO [NAME(S) OF OWNER(S)]; THAT THE CURRENT TAXES HAVE BEEN PAID; THAT ALL MORTGAGES NOT SATISFIED OR RELEASED BY RECORD OR OTHERWISE TERMINATED BY LAW ARE SHOWN HEREON; [THERE ARE NO MORTGAGES OF RECORD]; AND THAT [THERE ARE NO OTHER ENCUMBRANCES OF RECORD] [THERE ARE ENCUMBRANCES OF RECORD BUT THESE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT].

BY: _____ DATE: _____

(SIGNATURE)

(PRINTED NAME)



LOCATION MAP

N.T.S.

MORTGAGEE'S CONSENT

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF [A MORTGAGE(S)] UPON THE PROPERTY DESCRIBED HEREON AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNER THEREOF AND AGREES THAT ITS MORTGAGE(S) WHICH [IS] [ARE] RECORDED IN OFFICIAL RECORD BOOK _____ AT [PARCELS] _____ OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.

D&D SOLUTIONS, LLC
A FLORIDA CORPORATION

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS [PRESIDENT] [VICE PRESIDENT] AND ITS CORPORATE SEAL TO BE AFFIXED HEREON BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS _____ DAY OF _____, 2023.

D&D SOLUTIONS, LLC
A FLORIDA CORPORATION

WITNESS 1: _____ BY: _____ (PRES. OR V. PRES.)

(PRINTED NAME)

WITNESS 2: _____ (PRINTED TITLE)

(PRINTED NAME) (DATED)

STATE OF: _____

COUNTY OF: _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION THIS _____ DAY OF _____, 2023, BY _____ AS _____ OF D&D SOLUTIONS, LLC.

NOTARY OF PUBLIC, STATE OF _____

BY: _____

PRINT NAME: _____

COMMISSION NO. _____

MY COMMISSION EXPIRES: _____

PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION _____ TYPE OF IDENTIFICATION _____

GENERAL NOTES

- TOTAL NUMBER OF LOTS = 48 TOTAL NUMBER OF TRACTS = 9
- TOTAL LINEAR FEET OF STREETS = 17200.00 FEET
- ERROR OF CLOSURE DOES NOT EXCEED 1/10,000 FEET.
- UTILITIES SHALL INCLUDE, BUT NOT BE LIMITED TO SANITARY SEWER, POTABLE WATER, STORM DRAINAGE, ELECTRIC, TELEPHONE, CABLE TELEVISION AND NATURAL GAS.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LAND DESCRIBED HEREON AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- ALL PLATED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AN OPERATION SHALL COMPLY WITH NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- THE SCENIC COVE HOME OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE DRAINAGE SYSTEM SERVING THIS AREA WITHIN THE BOUNDARIES OF THIS PLAT, AS DEPICTED THE STORM WATER MANAGEMENT PLAN APPROVED FOR THIS DEVELOPMENT BY FLAGLER COUNTY, FLORIDA.
- MONUMENTS SHALL BE SET AT ALL LOT CORNERS UPON COMPLETION OF ALL REQUIRED SUBDIVISION IMPROVEMENTS AT THE DEVELOPER'S EXPENSE PER FLORIDA STATUTE 177.051 (3).
- IN THOSE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS OR OTHERWISE COINCIDE, DRAINAGE EASEMENTS SHALL HAVE FIRST PRIORITY, UTILITY EASEMENTS SHALL HAVE SECOND PRIORITY, ACCESS EASEMENTS SHALL HAVE THIRD PRIORITY, AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING OTHERWISE DETERMINED BY THE USE RIGHTS GRANTED.
- BEARING STRUCTURE IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE.

CIVIL ENGINEER / SURVEYORS

STEPHENSON-WILCOX AND ASSOCIATES
2729 E. MOODY BLVD #400
BUNNELL, FL 32110
PHONE: (386)437-2363
CONTACT: SWA WILCOX P.E. 57633 PSM 5749
EMAIL: INFO.SWA@SWA.COM

CERTIFICATE OF APPROVAL BY COUNTY COMMISSION OF FLAGLER COUNTY, FLORIDA

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 2023, THE FOREGOING PLAT WAS APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY, FLORIDA.

BY: CHAIRMAN, BOARD OF COUNTY COMMISSIONERS

ATTEST: _____

CLERK AND EX-OFFICIO CLERK TO THE BOARD OF COUNTY COMMISSIONERS

CERTIFICATE OF CLERK

I HEREBY CERTIFY THE FOREGOING PLAT WAS FILED FOR RECORD ON THE _____ DAY OF _____, 2023.

BY: _____

CLERK AND EX-OFFICIO CLERK TO THE BOARD OF COUNTY COMMISSIONERS
FLAGLER COUNTY, FLORIDA

CERTIFICATE OF APPROVAL

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 2023, THIS PLAT WAS APPROVED.

BY: COUNTY ATTORNEY

BY: GROWTH MANAGEMENT

REVIEWING SURVEYOR'S CERTIFICATION

"I HEREBY CERTIFY THAT THE UNDERSIGNED, IS A LICENSED PROFESSIONAL SURVEYOR AND MAPPER AND IS EITHER EMPLOYED OR UNDER CONTRACT THE FLAGLER COUNTY. I ALSO CERTIFY THAT I AM NOT REPRESENTING THE OWNER OR THE OWNERS OF RECORD AND HAVE REVIEWED THIS PLAT AND FOUND IT TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 177 FLORIDA STATUTES AND FLAGLER COUNTY PLATTING REGULATIONS."

BY: _____

(signature)

(printed name)

FLORIDA PROFESSIONAL SURVEYOR AND MAPPER CERTIFICATION NO. _____

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS ("P.R.M.'S") HAVE BEEN PLACED AS REQUIRED BY LAW AND THAT PERMANENT CONTROL POINTS ("C.P.'S") WILL BE SET UNDER THE GUARANTEES POSTED WITH THE FLAGLER COUNTY BOARD OF COUNTY COMMISSIONERS FOR THE REQUIRED IMPROVEMENTS; AND, FURTHER, THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF FLAGLER COUNTY, FLORIDA.

BY: _____

(SIGNATURE)

(PRINTED NAME), P.L.S.

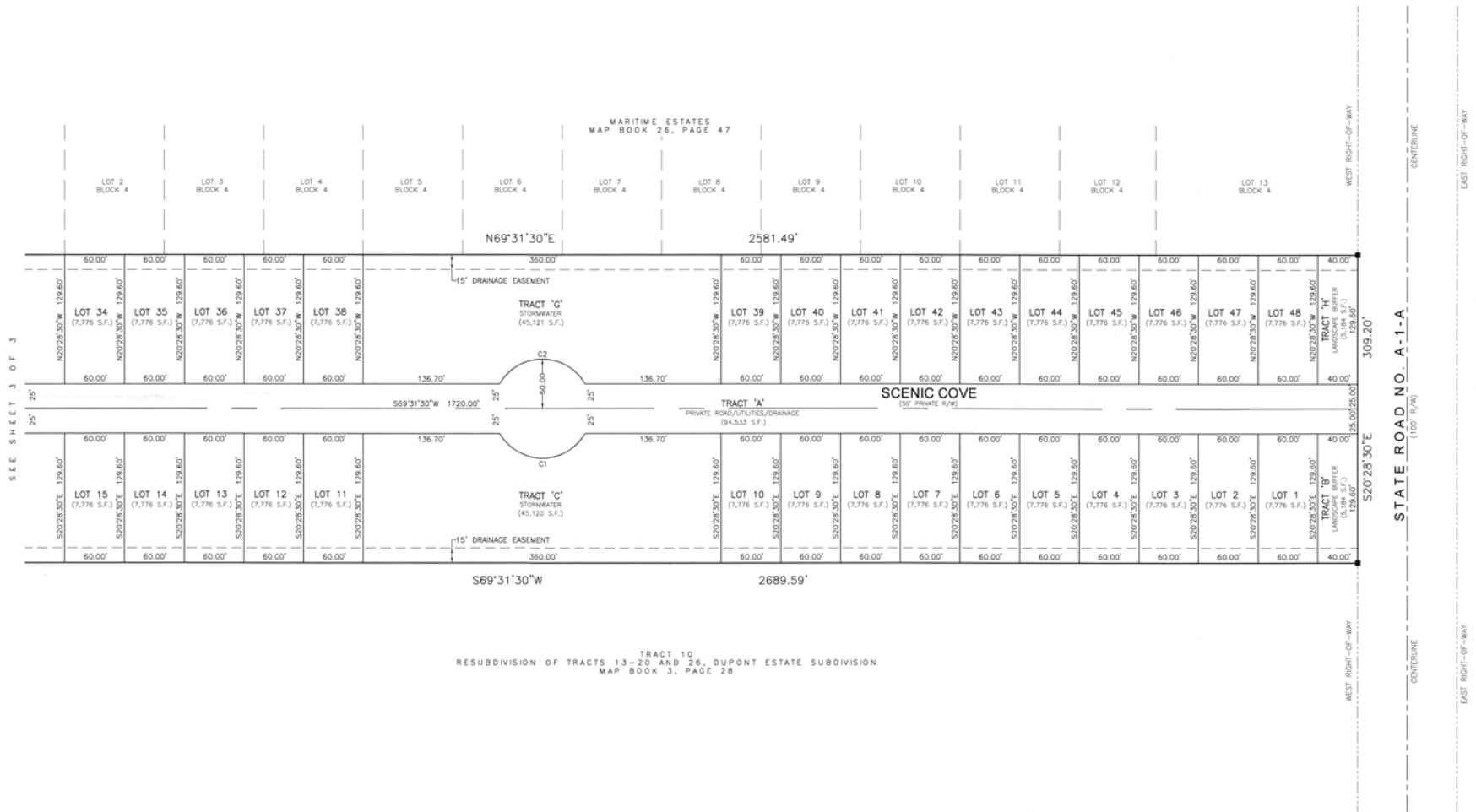
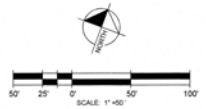
(SEALED)

FLORIDA PROFESSIONAL SURVEYOR AND MAPPER CERTIFICATE NO. _____

swa STEPHENSON, WILCOX & ASSOCIATES, INC. (CA27279-187978)
CIVIL ENGINEERS • LAND SURVEYORS • CONSULTANTS • PLANNERS
2729 E. MOODY BLVD., STE. 400, P.O. BOX 186 BUNNELL, FL 32110
PHONE: (386) 437-2363 FAX: (386) 437-0330 EMAIL: INFO.SWA@SWA.COM

SCENIC COVE

BEING A REPLAT OF TRACT 11, OF RESUBDIVISION OF TRACTS 13-20 AND 26, DUPONT ESTATES SUBDIVISION (MAP BOOK 3, PAGE 28)
SECTION 38, TOWNSHIP 10 SOUTH, RANGE 31 EAST



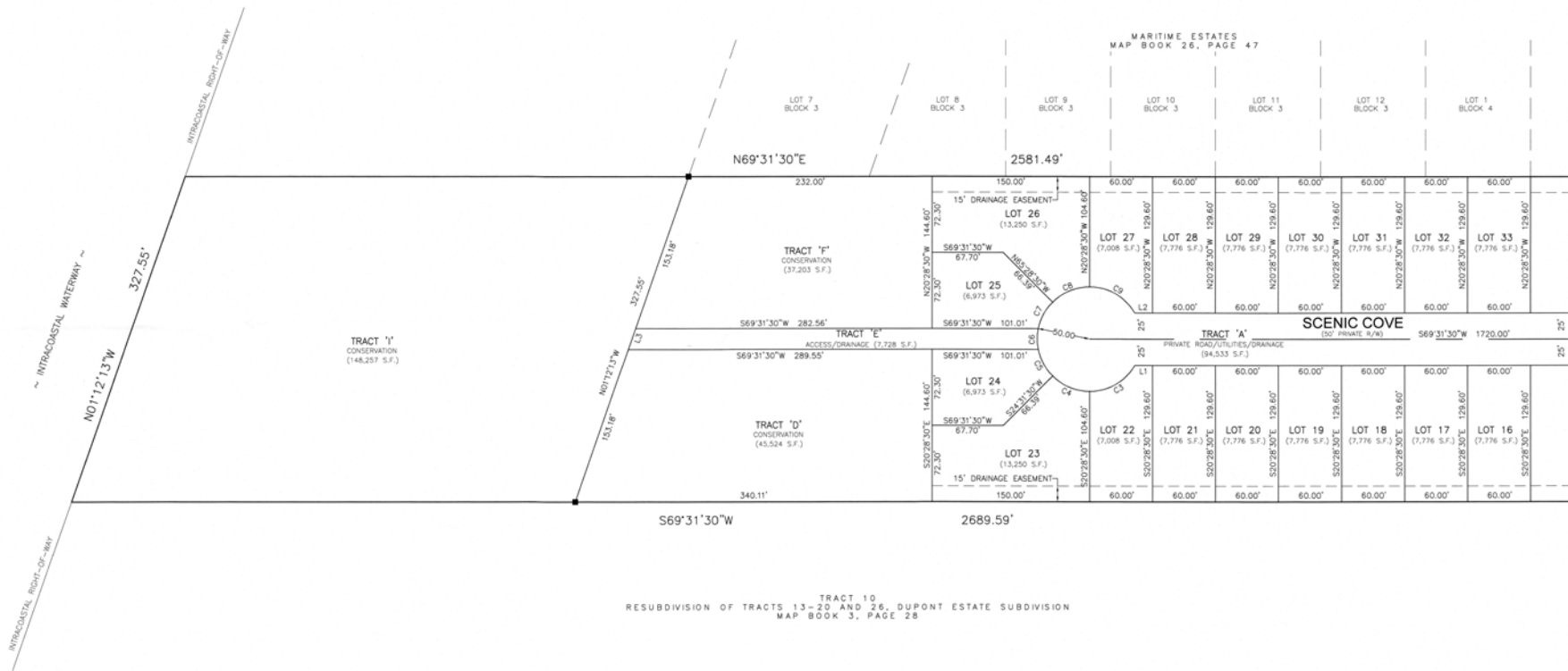
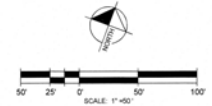
SEE SHEET 3 OF 3

- LEGEND:**
- IR 1/2" IRON ROD
 - N/D NAIL AND DISK
 - C/M CONCRETE MONUMENT
 - S.F. SQUARE FOOT
 - R/W RIGHT-OF-WAY
 - FND FOUND
 - PLS PROFESSIONAL LAND SURVEYOR
 - LB LICENSED BUSINESS
 - LS LICENSED SURVEYOR

CURVE DATA TABLE					
LABEL	CENTRAL ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD DISTANCE
C1	120°00'00"	50.00'	104.72'	S69°31'30"W	86.60'
C2	120°00'00"	50.00'	104.72'	N69°31'30"E	86.60'

SCENIC COVE

BEING A REPLAT OF TRACT 11, OF RESUBDIVISION OF TRACTS 13-20 AND 26, DUPONT ESTATES SUBDIVISION (MAP BOOK 3, PAGE 28)
SECTION 38, TOWNSHIP 10 SOUTH, RANGE 31 EAST



TRACT 10
RESUBDIVISION OF TRACTS 13-20 AND 26, DUPONT ESTATE SUBDIVISION
MAP BOOK 3, PAGE 28

SEE SHEET 2 OF 3

- LEGEND:**
- IR 1/2" IRON ROD
 - N/D NAIL AND DISK
 - CM CONCRETE MONUMENT
 - S.F. SQUARE FOOT
 - R/W RIGHT-OF-WAY
 - END FOUND
 - PLS PROFESSIONAL LAND SURVEYOR
 - LB LICENSED BUSINESS
 - LS LICENSED SURVEYOR

LABEL	CENTRAL ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD DISTANCE
C3	60°00'00"	50.00'	52.36'	S39°31'30"W	50.00'
C4	45°00'00"	50.00'	39.27'	N67°58'30"E	38.27'
C5	33°27'47"	50.00'	29.20'	N48°44'37"W	28.79'
C6	23°04'26"	50.00'	20.14'	N20°28'30"W	20.00'
C7	33°27'47"	50.00'	29.20'	N07°47'37"E	28.79'
C8	45°00'00"	50.00'	39.27'	N47°03'30"E	38.27'
C9	60°00'00"	50.00'	52.36'	S80°28'30"E	50.00'

LABEL	BEARING	LENGTH
L1	S69°31'30"W	16.70'
L2	S69°31'30"E	16.70'
L3	N01°12'13"W	21.19'

swa STEPHENSON, WILCOX & ASSOCIATES, INC. (CA12726 / LB19752)
 CIVIL ENGINEERS • LAND SURVEYORS • CONSULTANTS • PLANNERS
 2729 E. MOODY BLVD., STE. 400, P.O. BOX 186 BURNELL, FL 32110
 PHONE: (386) 437-2363 FAX: (386) 437-0035 EMAIL: INFO.SWA@SWA.COM

Growth Management Department
Planning & Zoning
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110

www.flaglercounty.org

Phone: (386)313-4009

Fax: (386)313-4109



TECHNICAL REVIEW COMMITTEE COMMENTS

DATE: January 12, 2024

Project #: 2023120033 / AR #4523

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

Attachment: Staff Comments

Reviewing Department Comments

EH - ENVIRONMENTAL HEALTH DEPT

Comments:

1. No comments or objections providing that potable water and/or wastewater service are not provided by well(s) and/or septic system(s).

ENGIN1 - DEVELOPMENT ENGINEERING (386-313-4082)

Comments:

Rejected By: SUSAN GRAHAM - (386)313-4082 - SGRAHAM@FLAGLERCOUNTY.GOV

1. Why is the process of rezoning taking place prior to the sale of the property.

2. Is there an Owners Authorization for the application.

3. The Use will be for Public Use as ROW?

ZON - ZONING (386-313-4009)

Comments:

Rejected By: SIMONE KENNY - - SKENNY@FLAGLERCOUNTY.GOV

1. Is this FLUM amendment and rezoning actually required to expand the roadway?

2. Public Facilities land use is not used anywhere else in the county, and is likely being removed with our comprehensive plan update. Therefore this land use is not recommended.

3. Is there a specific reason not to amend to Mixed Use Low like the rest of the CDD's roadways?

4. Is there a specific reason not to request a resolution dedicating these parcels as right-of-way instead?

5. Missing the Owner's authorization.



APPLICATION FOR FUTURE LAND USE MAP AMENDMENT LESS THAN TEN ACRES

FLAGLER COUNTY, FLORIDA
1769 E. Moody Blvd, Suite 105
Bunnell, FL 32110
Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project #: 2023120033

PROPERTY OWNER(S)	Name(s):	County of Flagler, a Political Subdivision of the State of Florida		
	Mailing Address:	1769 E. Moody Blvd., Bldg. 2, Suite 301		
	City: Bunnell	State: FL	Zip: 32110	
	Telephone Number		Fax Number	

APPLICANT/AGENT	Name(s):	Michael D. Chiumento III, Esq.		
	Mailing Address:	145 City Place, Suite 301		
	City: Palm Coast	State: FL	Zip: 32164	
	Telephone Number	386-445-8900	Fax Number	386-445-6702
	E-Mail Address:	michael3@legalteamforlife.com & cmcneil@legalteamforlife.com		

SUBJECT PROPERTY	SITE LOCATION (<i>street address</i>):	Camino Del Mar Parkway, Palm Coast
	LEGAL DESCRIPTION:	See attached Exhibit "B"
	Parcel # (<i>tax ID #</i>):	04-11-31-2984-000E1-0100 & 04-11-31-2984-00000-00D0
	Parcel Size:	0.291 acres

FUTURE LAND USE DESIGNATION	Present Future Land Use Designation(s) <u>Provide acreage of each classification.</u>	Conservation
	Proposed Future Land Use Designation (s) <u>Provide acreage of each classification.</u>	Public Facilities

POPULATION ASSUMPTIONS	Maximum population of site under current land use:	
	Maximum population of site under proposed land use: (2.4 PPH x (gross acres x maximum density))	

TRANSPORTATION	<p>A Traffic Impact Study (TIS) is required to be prepared by a transportation engineer to evaluate the impact of the proposed amendment on segments and intersections of the affected regional transportation network. The horizon year for the analysis shall be 2010. The study area will include all arterial and collector roadway segments and intersections within a two-mile radius of the external boundary of the FLUM parcel. Existing traffic counts shall be for the preceding calendar year and based upon FDOT, Flagler County or City of Palm Coast published data. If the traffic engineer conducts counts, they must be for a minimum of 72 consecutive hours during M-F and be adjusted to AADT using FDOT seasonal adjustment factors. Intersection turning counts shall be made during weekday peak hour. Trip generation of existing and proposed uses shall be based upon the applicable ITE land use code. Residential density is measured in maximum number of units per acre times the gross acreage. Non-residential FAR's are .3 comm. low, .4 comm. high and .5 industrial. The adopted LOS of the applicable comprehensive plan, County or City, shall be used and capacity determined by reference to FDOT Level of Service Manual for road segments and the Highway Capacity Manual for intersections.</p> <p>Trip distribution to determine the directional flow of traffic associated with the proposed FLUM shall be based upon FSUTMS using the Flagler County model set. The annual growth rate for traffic shall be calculated by calculating the previous 10 year's traffic counts or by using the following: U.S. 1 - 4.7%, I-95 - 4.6%, S.R. 100 - 10%, all other segments - 5%. Committed improvements must be underway, subject of a binding development agreement or funding in a State, County or municipal capital budget. The TIS concludes with an analysis of 2010 conditions in the study area with and without the proposed FLUM and any recommendations to mitigate the impact of increased traffic on the operational efficiency of the regional transportation network.</p>	
	Traffic Impact Study Prepared by:	
	Name:	
	Address:	
	City/State/Zip	

RECREATION AND OPEN SPACE	Facilities immediately serving site:		
	Is this site within a targeted Park Land?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>

WATER	Method (check one)	Private wells <input checked="" type="checkbox"/>	Central <input type="checkbox"/>	Private treatment plant <input type="checkbox"/>
	Attach completed SJRWMD Consumptive Use Worksheet and supporting information concerning growth projection or committee capacity.			
	If Central Water, provide name and address of facility:			
	Name:			
	Address:			
City/State/Zip				

SEWER	Method (check one)	Onsite Sewage Treatment and Disposal System <input type="checkbox"/>	Central <input type="checkbox"/>	Private treatment plant <input type="checkbox"/>
	Attach completed FDEP operating information for previous 12 months.			
	If Central Sewer, provide name and address of facility:			
	Name:			
	Address:			
City/State/Zip				

SOLID WASTE	If proposed land use amendment is for other than residential land use	Type	Square Footage
	Commercial		
	Industrial		

DRAINAGE	Detention/Retention facilities immediately serving the site		
	Available downstream facilities:		
	Is site situated within a known floodplain area? Identify FIRM panel.	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>

Signature of All Property Owners Date

Signature of All Property Owners Date

The foregoing was acknowledge before me this ____ day of _____, 20__ by _____ and _____ who is/are personally known to me or who has produced _____ as identification, and who (did) / (did not) take an oath.

Signature of Notary Public (Notary Stamp)

****OFFICIAL USE ONLY****

PLANNING BOARD RECOMMENDATION/ACTION:

APPROVED []
*APPROVED WITH CONDITIONS []
DENIED []

Signature of Chairman: _____

Date: _____ *approved with conditions, see attached.

****OFFICIAL USE ONLY****

BOARD OF COUNTY COMMISSIONERS ACTION:

APPROVED []
*APPROVED WITH CONDITIONS []
DENIED []

Signature of Chairman: _____

Date: _____ *approved with conditions, see attached.

Required Attachments:

Will need 33* sets of the following:

1. Location Map – Attachment “A”;
2. Legal Description – Attachment “B”;
3. Sealed Land survey showing the natural features of the land, the Mean High or Ordinary High water line. Survey **cannot be more than 2 years old** - Attachment “C”
4. Zoning Map Showing Current Zoning – Attachment “D”;
5. Present Future Land Use Designation Map – Attachment “E”;
6. Proposed Future Land Use Designation Map – Attachment “F”;
7. Population Analysis – Attachment “G”;
8. Transportation Study – Attachment “H”
9. Recreation and Open Space Analysis – Attachment “I”;
10. Water and Sewer Analysis – Attachment “J”;
11. Solid Waste Analysis – Attachment “K”;
12. Drainage Study – Attachment “L”.
13. FLUCCS code information including delineation of endangered and threatened species and species of special concern habitat and observations – Attach. “M”.
14. Soil survey - Attachment “O”.
15. Topographic map - Attachment “P”.
16. Aerials (false color) - Attachment “Q”.

*10 sets of plans for the Technical Review Committee **due upon submittal of application**, 13 sets of plans for Planning Board, and 10 sets of plans for the BCC.

NOTE: All applicants are requested to provide at least one set of documents/plans in a size no larger than 11” x 17” plus one electronic submittal in PDF format is preferred.

Application fee of \$870.00 plus cost of newspaper ad(s), postage at prevailing rate and \$50 for each notification of public hearing (posting of sign). Make check payable to BOCC.

Fee amount per Resolution 2008-31.

NOTE: OWNER/APPLICANT IS RESPONSIBLE FOR REQUIRED RESPONSE TO OBJECTIONS, RECOMMENDATIONS AND COMMENTS FROM STATE REVIEWING AGENCY.

NOTE: Pursuant to Section 286.0105 of Florida Statutes, Flagler County hereby notifies all interested persons that if a person decides to appeal any decision made by the Planning Board or Board of County Commissioners with respect to any matter considered at such meetings or hearings, he or she will need a record of the proceedings, and for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made which record includes the testimony and evidence upon which the appeal is to be based.

Rev 7/09

EXHIBIT "A"
Location Map



EXHIBIT "B"
Legal Description

A PORTION OF LAND LYING IN GOVERNMENT SECTION 4, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF OCEAN RIDGE AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGES 91-95 OF THE PUBLIC RECORDS FLAGLER COUNTY, FLORIDA; THENCE RUN NORTH 66°57'41" WEST, A DISTANCE OF 5.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY; THENCE RUN SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE AND ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING OF SOUTH 25°32'51" WEST AND A CENTRAL ANGLE OF 07°18'20", FOR 174.87 FEET TO THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING TWO COURSES; THENCE SOUTHWESTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING SOUTH 34°10'37" WEST AND A CENTRAL ANGLE OF 09°58'14", FOR A DISTANCE OF 238.52 FEET; THENCE RUN NORTH 50°50'38" WEST ALONG A LINE RADIAL TO THE LAST DESCRIBED CURVE, FOR A DISTANCE OF 40.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE NORTHEASTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 1332.39 FEET, A CHORD BEARING OF NORTH 34°09'06" EAST AND A CENTRAL ANGLE OF 10°01'16", FOR A DISTANCE OF 233.04 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY; THENCE RUN ALONG SAID RIGHT-OF-WAY SOUTH 59°07'31" EAST, A DISTANCE OF 39.98 FEET TO A POINT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE ALSO BEING THE POINT OF BEGINNING.

ENCOMPASSING 9,444 SQUARE FEET OR 0.217 ACRES MORE OR LESS.

A PORTION OF LAND LYING IN GOVERNMENT SECTION 4, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF OCEAN RIDGE AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGES 91-95 OF THE PUBLIC RECORDS FLAGLER COUNTY, FLORIDA; THENCE RUN NORTH 66°57'41" WEST, A DISTANCE OF 5.00 FEET TO THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY AND THE NORTHEASTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY; THENCE RUN SAID NORTHEASTERLY RIGHT-OF-WAY LINE NORTH 59°07'31" WEST, A DISTANCE OF 183.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE RUN NORTH 70°11'14" EAST, A DISTANCE OF 52.88 FEET; THENCE RUN SOUTH 20°22'24" EAST, A DISTANCE OF 58.44 FEET; THENCE RUN SOUTH 69°18'48" EAST, A DISTANCE OF 106.81 FEET TO A POINT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE; THENCE RUN ALONG SAID RIGHT-OF-WAY LINE 22.85 FEET SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1377.39 FEET, A CHORD BEARING OF SOUTH 21°25'47" EAST AND A CENTRAL ANGLE OF 00°57'02", FOR A DISTANCE OF 22.85 FEET TO THE POINT OF BEGINNING.

ENCOMPASSING 3,209 SQUARE FEET OR 0.074 ACRES MORE OR LESS.

EXHIBIT "D"
Existing Zoning



Map

EXHIBIT "E"
Present Future Land Use

- Unincorporated FLUM**
- AGRICULTURE
 - AGRICULTURE & TIMBERLANDS
 - COMMERCIAL: HIGH INTENSITY
 - COMMERCIAL: LOW INTENSITY
 - CONSERVATION
 - EDUCATIONAL USES
 - INDUSTRIAL
 - MIXED USE: HIGH INTENSITY
 - MIXED USE: LOW INTENSITY
 - RECREATION & OPEN SPACE
 - RESIDENTIAL: HIGH DENSITY
 - RESIDENTIAL: LOW DENSITY / RURAL ESTATE
 - RESIDENTIAL: MEDIUM DENSITY
 - RESIDENTIAL: LOW DENSITY/SINGLE FAMILY
 - WATER

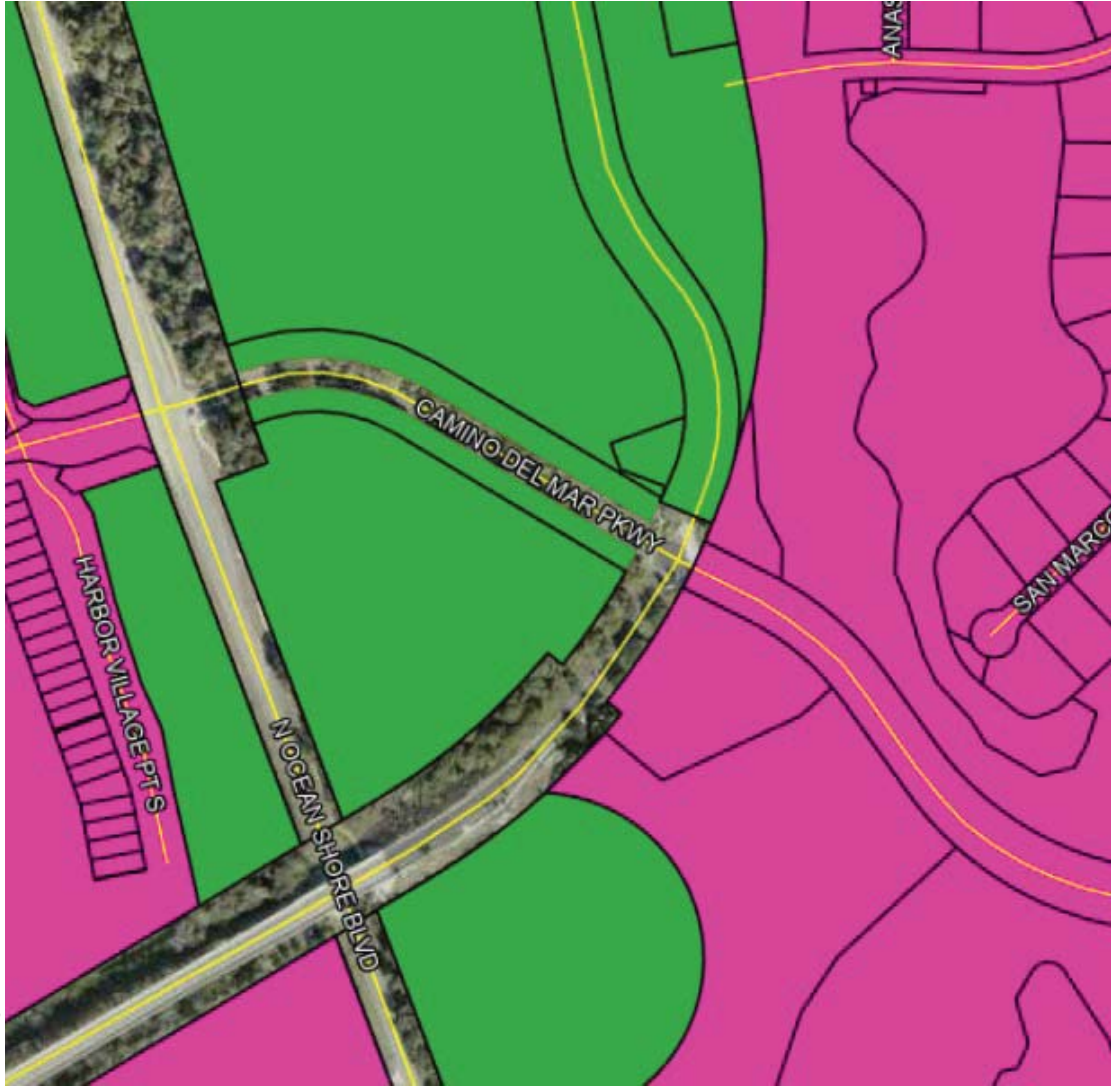


EXHIBIT "O"
Soil Types



Michael D. Chiumento
Michael D. Chiumento III
William J. Bosch
Vincent L. Sullivan
Diane A. Vidal
Kareen Movsesyan
Jared T. Trent
Sydney L. Nix
Eric R. Sloan, *of-counsel*
Andrew C. Grant, *of-counsel*
Thomas R. Pycraft, *of-counsel*

Michael D. Chiumento III
Managing Partner
Michael3@legalteamforlife.com



CHIUMENTO LAW

145 City Place, Suite 301
Palm Coast, FL 32164
Tel. (386) 445-8900
Fax: (386) 445-6702

2 Camino Del Mar
Palm Coast, FL 32137

By Appointment Only:
57 W. Granada Blvd.
Ormond Beach, FL 32174

December 7, 2023

Via E-mail Only

Flagler County Planning Department
Attn: Adam Mengel, Planning Director
1769 E. Moody Blvd.
Bunnell, FL 32110
E-mail: amengel@flaglercounty.org

RE: Future Land Use Map Amendment and Rezoning Application

Dear Mr. Mengel,

This Firm and I have the pleasure of representing Dunes CDD (the “District”), in connection with the attached Future Land Use Map Amendment and Rezoning Applications. The District is currently in the process of purchasing a portion of parcel identification number 04-11-31-2984-000E1-0100 & 04-11-31-2984-00000-00D0 (the “Property”). The Property is currently zoned Planned Unit Development (PUD), with a current FLUM of Conservation (CN) and presently sits vacant.

The District’s intended use for the Property is to expand the current intersection, however we realize that the Conservation designation prohibits such use and as such we cannot make the necessary improvements to the infrastructure. In order for us to do so, the District requests the County to amend the existing land use designation and rezone the Property.

FLUM AMENDMENT

We are seeking a land use amendment for the Property to change the land use designation from Conservation to Public Facilities. Included with this letter are the following:

- Application for Future Land Use Amendment less than ten acres;
- Check for the application fee in the amount of \$870.00;
- Location Map (Exhibit “A”);
- Legal Description (Exhibit “B”);
- Sketch and Description (Exhibit “C”);
- Existing Zoning (Exhibit “D”);
- Present Future Land Use Designation Map (Exhibit “E”);
- Soil Types (Exhibit “O”);

Because the addition of the 0.291 acres is being done without any increase in the number of residential units or in the population, no transportation study or population analysis is included herein. This application is strictly for the limited purpose of expanding and improving the roadway intersection as described above. As such, no recreation and open space analysis, water and sewer analysis, or drainage study is provided, as the addition of this Property has no impact in these areas.

REZONING

We are seeking to change the zoning for the Property from Planned Unit Development (PUD) to Public Use. The request for rezoning for the project is consistent with the requested FLUM Amendment and compatible with the adjacent properties. Included with this letter are the following:

- Rezoning application;
- Check for the application fee in the amount of \$445.00
- Warranty Deed;
- List of abutting property owners;
- Legal Description;
- Boundary Survey;

Because the addition of the 0.291 acres is for expanding the current roadway, no proposed occupancy analysis is provided, as there is no effect on occupancy.

CONCLUSION

The applications to amend the FLUM designation and rezone the Property should be approved. The proposed FLUM designation of Public Facilities is generally consistent with the proposed land use designation and uses in the adjacent areas, and the change from PUD to Public

Use is consistent with the adjacent properties and avoids any impact to the adjacent landowners. Staff should not find any inconsistency in the proposed designation that would be a detriment to future development in the surrounding areas.

If the County has any questions about the foregoing, please do not hesitate to contact me or my office. I can be reached most easily at michael3@legalteamforlife.com.

Sincerely,

Michael D. Chiumento III
Attorney

Enclosures: As Noted
CC: File
Client

MDC/jtt

Sketch and Description:

THIS IS NOT A SURVEY

Legal Description:

A PORTION OF LAND LYING IN GOVERNMENT SECTION 4, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF OCEAN RIDGE AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGES 91-95 OF THE PUBLIC RECORDS FLAGLER COUNTY, FLORIDA; THENCE RUN NORTH 66°57'41" WEST, A DISTANCE OF 5.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY; THENCE RUN SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE AND ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING OF SOUTH 25°32'51" WEST AND A CENTRAL ANGLE OF 07°18'20", FOR 174.87 FEET TO THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING TWO COURSES; THENCE SOUTHWESTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING SOUTH 34°10'37" WEST AND A CENTRAL ANGLE OF 09°58'14", FOR A DISTANCE OF 238.52 FEET; THENCE RUN NORTH 50°50'38" WEST ALONG A LINE RADIAL TO THE LAST DESCRIBED CURVE, FOR A DISTANCE OF 40.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE NORTHEASTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 1332.39 FEET, A CHORD BEARING OF NORTH 34°09'06" EAST AND A CENTRAL ANGLE OF 10°01'16", FOR A DISTANCE OF 233.04 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY; THENCE RUN ALONG SAID RIGHT-OF-WAY SOUTH 59°07'31" EAST, A DISTANCE OF 39.98 FEET TO A POINT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE ALSO BEING THE POINT OF BEGINNING.

ENCOMPASSING 9,444 SQUARE FEET OR 0.217 ACRES MORE OR LESS.

Abbreviation Legend:

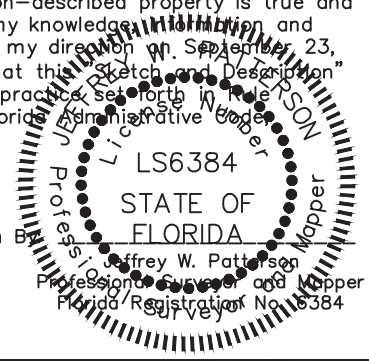
(A) - ACTUAL	Δ - DELTA	GOVT - GOVERNMENT	PC - POINT OF CURVATURE	R31E - RANGE 31 EAST
APPROX - APPROXIMATE	(D) - DEED	IP - IRON PIPE	PCC - POINT OF COMPOUND	R - RADIUS
AVG - AVERAGE	(DE) - DEED EXCEPTION	IR - IRON ROD	PCP - CURVATURE	RAD - RADIAL
(BB) - BEARING BASIS	DEPT - DEPARTMENT	IR&C - IRON REBAR & CAP	PCP - PERMANENT CONTROL POINT	REC - RECOVERED
BLDG - BUILDING	D/U - DRAINAGE AND UTILITY	L - ARC LENGTH	PG - PAGE	REV - REVISION
BM - BENCH MARK	EASEMENT	LB# - LICENSED BUSINESS NUMBER	PGS - PAGES	RP - RADIUS POINT
(C) - CALCULATED	ELEV - ELEVATION	(M) - MEASURED	PI - POINT OF INTERSECTION	R/W - RIGHT-OF-WAY
C - CHORD	EOP - EDGE OF PAVEMENT	N & D - NAIL AND DISK	POB - POINT OF BEGINNING	SEC 8 - SECTION 8
CB - CHORD BEARING	ESMT - EASEMENT	NR - NON-RADIAL	POC - POINT OF COMMENCEMENT	SQ - SQUARE
CCR # - CERTIFIED CORNER RECORD NUMBER	FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION	NSI - NO SURVEYOR IDENTIFICATION	POL - POINT ON LINE	SQ FT - SQUARE FEET
C/L - CENTERLINE	FF - FINISH FLOOR	NT - NON-TANGENT	PRC - POINT OF REVERSE CURVATURE	TB - TANGENT BEARING
CM - CONCRETE MONUMENT	FND - FOUND	OR - OFFICIAL RECORDS	PRM - PERMANENT REFERENCE MONUMENT	T12S - TOWNSHIP 12 SOUTH
CONC - CONCRETE	FP&L - FLORIDA POWER AND LIGHT	ORB - OFFICIAL RECORDS BOOK	PT - POINT OF TANGENCY	(TYP) - TYPICAL
COR - CORNER	(G) - GRID (STATE PLANE)	PB - PLAT BOOK	FEC - FLORIDA EAST COAST RAILWAY	UE - UTILITY EASEMENT
		FS - FLORIDA STATUTE		W/ - WITH

Surveyor's Notes:

- COPIES OF THIS SKETCH AND DESCRIPTION ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- BEARINGS SHOWN HEREON ARE RELATIVE TO SOUTHWESTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY AS DESCRIBED IN OFFICIAL RECORDS MAP BOOK 30, PAGES 91 THROUGH 95, INCLUSIVE OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, AS BEING S 59°07'31" E.
- THE "LEGAL DESCRIPTION" HEREON WAS PREPARED BY THE SURVEYOR PER THE CLIENT'S REQUEST.
- THIS SKETCH WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR OPINION OF TITLE. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS NOTED.
- THIS IS NOT A BOUNDARY SURVEY, THIS SKETCH AND DESCRIPTION WAS PREPARED FROM INFORMATION FURNISHED TO THE SURVEYOR, NO FIELD SURVEY WAS PERFORMED TO DEFINE OWNERSHIP.

Surveyor's Certification:

I hereby certify that the attached "Sketch and Description" of the hereon-described property is true and correct to the best of my knowledge, information and belief as prepared under my direction on September 23, 2022. I further certify that this "Sketch and Description" meets the standards of practice set forth in Rule Chapter 5J-17 of the Florida Administrative Code pursuant to FS 472.027.



For the Firm By

THE ELECTRONIC SIGNATURE HEREON IS IN COMPLIANCE WITH THE FLORIDA ADMINISTRATIVE CODE (FAC) 5J-17.062(3) AND THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JEFFREY W. PATTERSON, PSM, 6384 ON SEPTEMBER 23, 2022 PER 5J17-062(2)

TITLE BLOCK ABBREVIATIONS	
Eng. = ENGINEERING	L.B. = LICENSED BUSINESS
C.O.A. = CERTIFICATE OF AUTHORIZATION	Arch. = ARCHITECTURAL
Landscp. = LANDSCAPE	N/A = NOT APPLICABLE Lic. = LICENSED
No. = NUMBER	P.O. = POST OFFICE © = COPYRIGHT

NOT VALID WITHOUT SHEETS 1 THRU 2 OF 2.

Date: 9/23/2022	Job No. D6914
Drawn by: B.J.B.	Scale: N/A
	File: D6914_SK&D1

520 Palm Coast Pkwy SW - Palm Coast, FL 32137 ~ Ph: 386.445.6969

Prepared By:
CPH, Inc.
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Lndscp. Lic. No. LC0000298

Dunes Community Development District
SECTION 4-TOWNSHIP 11 SOUTH-RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

SKETCH AND DESCRIPTION

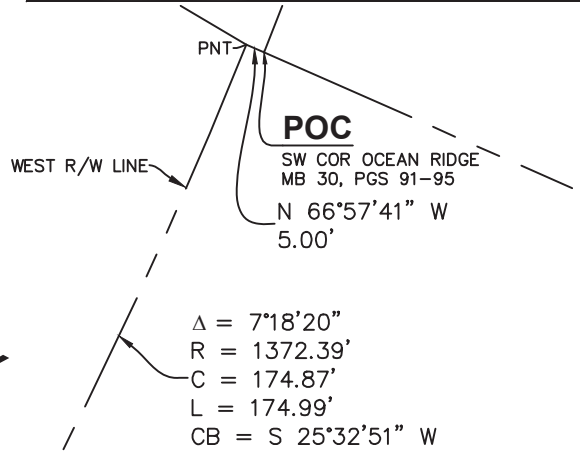
Sheet
1
1 of 2
© 2022

Sketch and Description:

THIS IS NOT A SURVEY



CAMINO DEL MAR PARKWAY
(RIGHT-OF-WAY WIDTH VARIES)



PARCEL ID #04-11-31-2984-00000-00D0
OWNER: COUNTY OF FLAGLER
BOARD OF COMMISSIONERS
ADDRESS: PALM COAST 32137

ENCOMPASSING
9,444± SQ FT
0.217 ACRE

$\Delta = 10^{\circ}01'16''$
R = 1332.39'
C = 232.74'
L = 233.04'
CB = N 34°09'06" E

$\Delta = 9^{\circ}58'14''$
R = 1372.39'
C = 238.52'
L = 238.82'
CB = S 34°10'37" W

HAMMOCK DUNES PARKWAY
(RIGHT-OF-WAY WIDTH VARIES)



Graphic Scale in Feet

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Drawn by: B.J.B.	Date: 9/23/2022	Job No. D6914
	Scale: 1"=50'	File: D6914_SK&D1

 www.cphcorp.com 520 Palm Coast Pkwy SW - Palm Coast, FL 32137 ~ Ph: 386.445.6969	Prepared By: CPH, Inc. Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298	Dunes Community Development District SECTION 4-TOWNSHIP 11 SOUTH-RANGE 31 EAST FLAGLER COUNTY, FLORIDA	Sheet 2 2 of 2
	SKETCH AND DESCRIPTION		© 2022

Sketch and Description:

THIS IS NOT A SURVEY

Legal Description:

A PORTION OF LAND LYING IN GOVERNMENT SECTION 4, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF OCEAN RIDGE AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGES 91-95 OF THE PUBLIC RECORDS FLAGLER COUNTY, FLORIDA; THENCE RUN NORTH 66°57'41" WEST, A DISTANCE OF 5.00 FEET TO THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY AND THE NORTHEASTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY; THENCE RUN SAID NORTHEASTERLY RIGHT-OF-WAY LINE NORTH 59°07'31" WEST, A DISTANCE OF 183.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE RUN NORTH 70°11'14" EAST, A DISTANCE OF 52.88 FEET; THENCE RUN SOUTH 20°22'24" EAST, A DISTANCE OF 58.44 FEET; THENCE RUN SOUTH 69°18'48" EAST, A DISTANCE OF 106.81 FEET TO A POINT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE; THENCE RUN ALONG SAID RIGHT-OF-WAY LINE 22.85 FEET SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1377.39 FEET, A CHORD BEARING OF SOUTH 21°25'47" EAST AND A CENTRAL ANGLE OF 00°57'02", FOR A DISTANCE OF 22.85 FEET TO THE POINT OF BEGINNING.

ENCOMPASSING 3,209 SQUARE FEET OR 0.074 ACRES MORE OR LESS.

Abbreviation Legend:

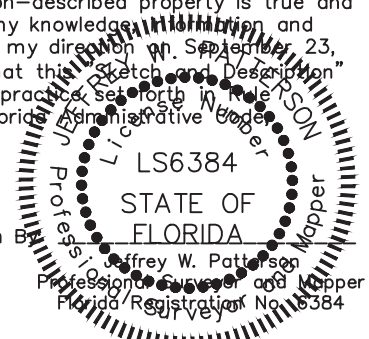
(A) - ACTUAL	Δ - DELTA	GOVT - GOVERNMENT	PC - POINT OF CURVATURE	R31E - RANGE 31 EAST
APPROX - APPROXIMATE	(D) - DEED	IP - IRON PIPE	PCC - POINT OF COMPOUND CURVATURE	R - RADIUS
AVG - AVERAGE	(DE) - DEED EXCEPTION	IR - IRON ROD	PCP - PERMANENT CONTROL POINT	RAD - RADIAL
(BB) - BEARING BASIS	DEPT - DEPARTMENT	IR&C - IRON REBAR & CAP	PG - PAGE	REC - RECOVERED
BLDG - BUILDING	D/U - DRAINAGE AND UTILITY EASEMENT	L - ARC LENGTH	PGS - PAGES	REV - REVISION
BM - BENCH MARK	ELEV - ELEVATION	LB# - LICENSED BUSINESS NUMBER	PI - POINT OF INTERSECTION	RP - RADIUS POINT
(C) - CALCULATED	EOP - EDGE OF PAVEMENT	(M) - MEASURED	POB - POINT OF BEGINNING	R/W - RIGHT-OF-WAY
C - CHORD	ESMT - EASEMENT	N & D - NAIL AND DISK	POC - POINT OF COMMENCEMENT	SEC 8 - SECTION 8
CB - CHORD BEARING	FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION	NR - NON-RADIAL	POL - POINT ON LINE	SQ - SQUARE
CCR # - CERTIFIED CORNER RECORD NUMBER	FF - FINISH FLOOR	NSI - NO SURVEYOR IDENTIFICATION	PRC - POINT OF REVERSE CURVATURE	SQ FT - SQUARE FEET
C/L - CENTERLINE	FND - FOUND	NT - NON-TANGENT	PRM - PERMANENT REFERENCE MONUMENT	TB - TANGENT BEARING
CM - CONCRETE MONUMENT	FP&L - FLORIDA POWER AND LIGHT	ORB - OFFICIAL RECORDS BOOK	PT - POINT OF TANGENCY	T12S - TOWNSHIP 12 SOUTH
CONC - CONCRETE	(G) - GRID (STATE PLANE)	PB - PLAT BOOK	FEC - FLORIDA EAST COAST RAILWAY	(TYP) - TYPICAL
COR - CORNER		FS - FLORIDA STATUTE		UE - UTILITY EASEMENT
				W/ - WITH

Surveyor's Notes:

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-

Surveyor's Certification:

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For the Firm By

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Date: 9/23/2022	Job No. D6914
Drawn by: B.J.B.	File: D6914_SK&D2
Scale: N/A	

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Prepared By:
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Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
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Lndscp. Lic. No. LC0000298

Dunes Community Development District

SECTION 4-TOWNSHIP 11 SOUTH-RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

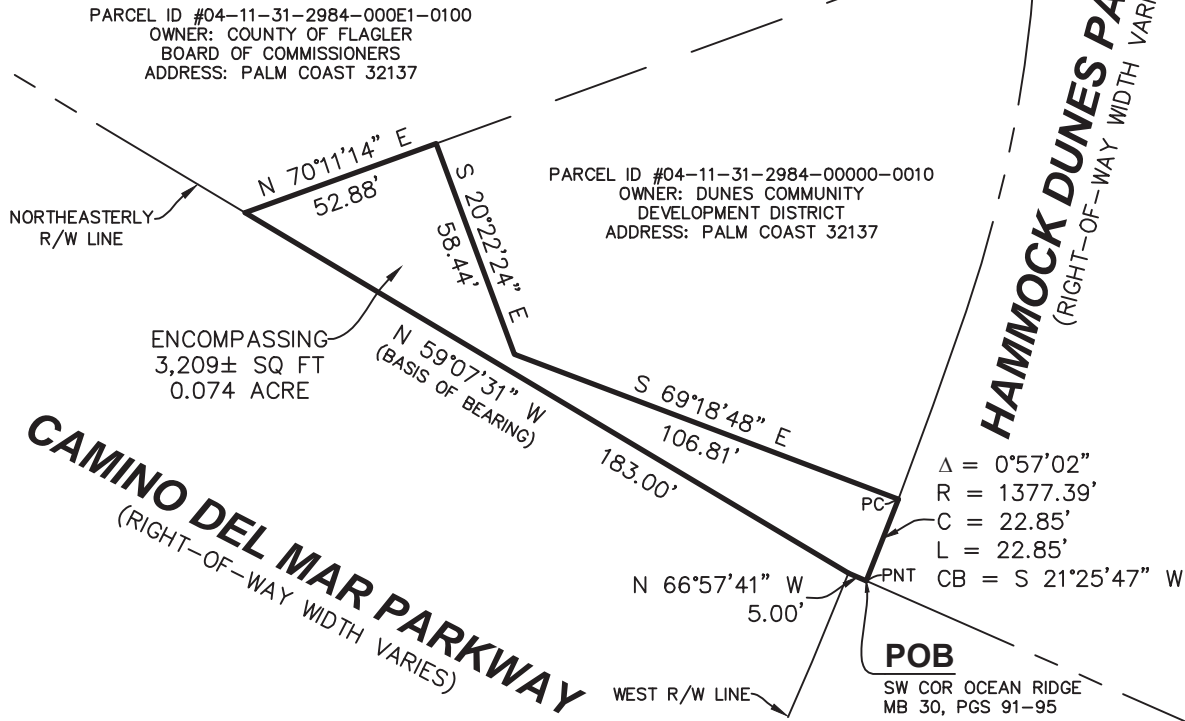
SKETCH AND DESCRIPTION

Sheet
1
1 of 2

© 2022

Sketch and Description:

THIS IS NOT A SURVEY



Graphic Scale in Feet

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Dunes Community Development District
SECTION 4-TOWNSHIP 11 SOUTH-RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

Sheet
2
2 of 2

SKETCH AND DESCRIPTION

Growth Management Department
Planning & Zoning
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110

www.flaglercounty.org

Phone: (386)313-4009

Fax: (386)313-4109



TECHNICAL REVIEW COMMITTEE COMMENTS

DATE: January 12, 2024

Project #: 2023120034 / AR #4525

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

Attachment: Staff Comments

Reviewing Department Comments

ZON - ZONING (386-313-4009)

Comments:

Rejected By: SIMONE KENNY - - SKENNY@FLAGLERCOUNTY.GOV

1. Public Use is not a zoning district in the county. Public Land Institutional is a zoning district that is not currently used in the county. Public Use is a type of application that can be used in any district.

2. Is there a specific reason to rezone from PUD? All the other right-of-ways in the CDD are PUD.

3. Missing the Owner's authorization.

ENGIN1 - DEVELOPMENT ENGINEERING (386-313-4082)

Comments:

Rejected By: SUSAN GRAHAM - (386)313-4082 - SGRAHAM@FLAGLERCOUNTY.GOV

1. Why is the process of rezoning taking place prior to the sale of the property.

2. Is there an Owners Authorization for the application.

3. The Use will be for Public Use as ROW?

EH - ENVIRONMENTAL HEALTH DEPT

Comments:

1. No comments or objections providing that potable water and/or wastewater service are not provided by well(s) and/or septic system(s).



APPLICATION FOR REZONING

FLAGLER COUNTY, FLORIDA
 1769 E. Moody Boulevard, Suite 105
 Bunnell, FL 32110
 Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project #: 2023120034

PROPERTY OWNER(S)	Name(s):	County of Flagler, a Political Subdivision of the State of Florida	
	Mailing Address:	1769 E. Moody Blvd., Bldg. 2, Suite 301	
	City: Bunnell	State: FL	Zip: 32110
	Telephone Number		

APPLICANT/ AGENT	Name(s):	Michael D. Chiumento III, Esq.		
	Mailing Address:	145 City Place, Suite 301		
	City: Bunnell	State: FL	Zip: 32110	
	Telephone Number	386-445-8900	Fax Number	386-445-6702
	Email Address	michael3@legalteamforlife.com & cmcneil@legalteamforlife.com		

SUBJECT PROPERTY	SITE LOCATION (<i>street address</i>):	Camino Del Mar Parkway, Palm Coast		
	LEGAL DESCRIPTION: (<i>briefly describe, do not use "see attached"</i>)	A portion of Section 4, Township 11 South, Range 31 East		
	Parcel # (<i>tax ID #</i>):	04-11-31-2984-000E1-0100 & 04-11-31-2984-00000-00D0		
	Parcel Size:	0.291 acres		
	Subject to A1A Scenic Corridor IDO?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	

ZONING	PRESENT Zoning Classification:	PUD
	Present Future Land Use Designation:	Conservation
	PROPOSED ZONING CLASSIFICATION	Public Use

Signature of Owner(s) or Applicant/Agent
 if Owner Authorization form attached

Date

****OFFICIAL USE ONLY****

PLANNING BOARD RECOMMENDATION/ACTION:

APPROVED []
 *APPROVED WITH CONDITIONS []
 DENIED []

Signature of Chairman: _____

Date: _____ *approved with conditions, see attached.

BOARD OF COUNTY COMMISSIONERS ACTION:

APPROVED []
 *APPROVED WITH CONDITIONS []
 DENIED []

Signature of Chairman: _____

Date: _____ *approved with conditions, see attached.

NOTE: The applicant or a representative, must be present at the Public Hearing since the Board, at its discretion, may defer action, table, or take decisive action on any application.

Rev. 05/08

This Document Prepared by:
Jeffrey C. Sweet
Granada Oaks Professional Building
595 West Granada Blvd., Suite A
Ormond Beach, FL 32174-9448

Inst No: 98020243 Date: 09/18/1998
Doc Stamp-Deed : 104962.20
SYD CROSBY, FLAGLER County
By: J. Daughtry, D.C. Time: 11:43:3

OFF
REC 0627 PAGE 1675

GENERAL WARRANTY DEED

THIS GENERAL WARRANTY DEED is made this 17th day of September, 1998, ITT COMMUNITY DEVELOPMENT CORPORATION, a Delaware corporation, Grantor, and the COUNTY OF FLAGLER, a Political Subdivision of the State of Florida, with its business mailing address at 1200 E. Moody Blvd., #1, Bunnell, Florida 32110, hereinafter called the Grantee:

Reserved for Recording Information

WITNESSETH:

That the Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable consideration, receipt of which is acknowledged, does hereby grant and convey to the Grantee, its successors and assigns forever, certain land in Flagler County, Florida ("land"), which land is more particularly described below:

See Exhibit "A" Attached hereto

Together with all the riparian and littoral rights pertaining to the land.

TO HAVE AND TO HOLD THE SAME in fee simple subject to the following conditions:

1. Purpose. The land shall be used for Public Purposes consistent with its classification pursuant to the Hammock Dunes Development of Regional Impact Development Order Flagler County Resolution 84-7, as amended, (the "Development Order").

AND GRANTOR does hereby warrant to the Grantee that it will warrant and defend the fee simple title of the premises herein conveyed against the lawful claims and demands of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has caused this instrument to be executed in its name by its proper and duly authorized corporate officers upon the date above given.

Signed, sealed and delivered in the presence of:

ITT COMMUNITY DEVELOPMENT CORPORATION

Shepi J. Grace
Shepi J. Grace

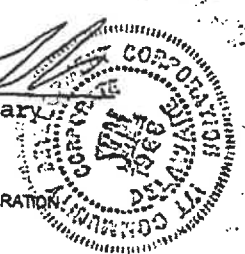
By: James E. Gardner
James E. Gardner, President

Victoria P. Sars
VICTORIA P. SARS

Attest: Robert G. Cuff
Robert G. Cuff, Secretary

(CORPORATE SEAL)

Address for all signatories is:
ITT COMMUNITY DEVELOPMENT CORPORATION
1 Corporate Drive
Palm Coast, Florida 32151



Handwritten initials and signature:
② Mark
EML R.S.

STATE OF FLORIDA
COUNTY OF FLAGLER

The foregoing instrument was acknowledged before me this 17th
day of September, 1998 by James E. Gardner, President and Robert G.
Cuff, Secretary of ITT Community Development Corporation, a Delaware
corporation, on behalf of the corporation. They are known to me and
did not take an oath.

Victoria P. Gard

Notary Public, State of Florida



Victoria P. Gard
MY COMMISSION # CC553028 EXPIRES
June 1, 2000
BONDED THROUGH TROY FARM INSURANCE, INC.

Unofficial Copy

Handwritten initials and signature

Malacompra Park

A PARCEL OF LAND BEING A PORTION OF SECTIONS 20, 21 AND 28, TOWNSHIP 10 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF MALACOMPRA ROAD AND THE EAST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A; THENCE NORTHEASTERLY ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF MALACOMPRA ROAD THE FOLLOWING TWO COURSES:
 THENCE NORTH 71°10'09" EAST, FOR 1134.79 FEET;
 THENCE NORTH 88°23'31" EAST, FOR 1383.19 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE NORTH 88°23'31" EAST, FOR 858.02 FEET;
 THENCE SOUTH 59°50'14" EAST, FOR 903.23 FEET;
 THENCE NORTH 70°16'28" EAST, FOR 158.10 FEET TO THE MEAN HIGH WATER LINE OF THE ATLANTIC OCEAN;
 THENCE SOUTHEASTERLY ALONG SAID MEAN HIGH WATER LINE THE FOLLOWING

TWELVE COURSES:
 THENCE SOUTH 18°29'30" EAST, FOR 102.30 FEET;
 THENCE SOUTH 18°59'22" EAST, FOR 103.88 FEET;
 THENCE SOUTH 20°15'36" EAST, FOR 103.72 FEET;
 THENCE SOUTH 16°20'18" EAST, FOR 107.75 FEET;
 THENCE SOUTH 22°29'37" EAST, FOR 103.55 FEET;
 THENCE SOUTH 22°26'36" EAST, FOR 110.09 FEET;
 THENCE SOUTH 18°53'09" EAST, FOR 107.80 FEET;
 THENCE SOUTH 20°12'13" EAST, FOR 105.57 FEET;
 THENCE SOUTH 23°23'36" EAST, FOR 109.29 FEET;
 THENCE SOUTH 17°42'56" EAST, FOR 104.89 FEET;
 THENCE SOUTH 16°46'57" EAST, FOR 101.99 FEET;
 THENCE SOUTH 19°43'04" EAST, FOR 103.48 FEET;
 THENCE NORTH 73°12'59" WEST, DEPARTING SAID MEAN HIGH WATER LINE, FOR 2061.09 FEET;
 THENCE NORTH 34°36'29" WEST, FOR 39.71 FEET;
 THENCE NORTH 50°22'42" WEST, FOR 96.96 FEET;
 THENCE NORTH 15°35'15" WEST, FOR 168.81 FEET;
 THENCE NORTH 52°35'51" WEST, FOR 21.71 FEET;
 THENCE NORTH 06°53'10" WEST, FOR 100.44 FEET;
 THENCE NORTH 08°53'19" WEST, FOR 107.15 FEET;
 THENCE NORTH 02°29'33" WEST, FOR 96.87 FEET;
 THENCE NORTH 06°40'40" WEST, FOR 401.03 FEET TO THE POINT OF BEGINNING.

CONTAINING 47.01 ACRES, MORE OR LESS.

EL
 (K)
 R
 1/24

TOGETHER WITH:

Marina Parcels

OFF REC 0627 PAGE 1678

HAMMOCK PHASE CONSERVATION LANDS, HARBOR VILLAGE MARINA AT HAMMOCK DUNES.

DESCRIPTION: PARCEL "A"

A PARCEL OF LAND LYING WEST OF STATE ROAD A-1-A AND EAST OF THE INTRACOASTAL WATERWAY WITHIN SECTION 40, TOWNSHIP 10 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A POINT OF REFERENCE BEING THE INTERSECTION POINT OF THE NORTH LINE OF GOVERNMENT SECTION 38, TOWNSHIP 11 SOUTH, RANGE 31 EAST, WITH THE WEST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A (216' R/W) THENCE NORTH 16° 45' 12" WEST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD A-1-A A DISTANCE OF 690.63 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, THENCE DEPARTING STATE ROAD A-1-A SOUTH 89° 19' 02" WEST A DISTANCE OF 148.23 FEET, THENCE NORTH 06° 25' 34" WEST A DISTANCE OF 93.97 FEET, THENCE NORTH 11° 35' 57" WEST A DISTANCE OF 192.71 FEET, THENCE NORTH 76° 54' 06" WEST A DISTANCE OF 32.38 FEET TO A POINT ON THE SOUTH LINE OF FLAGLER COUNTY SCHOOL BOARD LANDS, THENCE DEPARTING THE WEST LINE OF SAID HAMMOCK LANDS NORTH 85° 47' 21" EAST A DISTANCE OF 139.70 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A, THENCE SOUTH 16° 45' 12" EAST A DISTANCE OF 311.19 FEET TO THE POINT OF BEGINNING, PARCEL CONTAINING 0.8645 ACRES OF LAND MORE OR LESS.

TOGETHER WITH THE FOLLOWING PARCEL "B"

A PARCEL OF AND LYING WEST OF STATE ROAD A-1-A AND EAST OF THE INTRACOASTAL WATERWAY WITHIN GOVERNMENT SECTIONS 37 AND 38, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A POINT OF BEGINNING BEING THE INTERSECTION POINT OF THE NORTH LINE OF GOVERNMENT SECTION 38, TOWNSHIP 11 SOUTH, RANGE 31 EAST, WITH THE WEST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A (216' R/W) THENCE SOUTH 16° 45' 12" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A A DISTANCE OF 1567.75 FEET TO A POINT OF CURVATURE, CONCAVE EASTERLY, THENCE SOUTHERLY A DISTANCE OF 77.87 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 00° 46' 18", A RADIUS OF 5778.65 FEET, A CHORD BEARING OF SOUTH 17° 08' 21" EAST AND A CHORD DISTANCE OF 77.87 FEET TO THE POINT OF INTERSECTION WITH A NON-TANGENT LINE, THENCE DEPARTING STATE ROAD A-1-A SOUTH 71° 29' 00" WEST A DISTANCE OF 210.30 FEET TO A POINT ON THE WESTERLY LINE OF THE "HAMMOCK LANDS", THENCE NORTHERLY ALONG SAID HAMMOCK LANDS THE FOLLOWING COURSES NORTH 59° 08' 19" WEST A DISTANCE OF 39.59 FEET, THENCE NORTH 13° 04' 16" WEST A DISTANCE OF 423.53 FEET, THENCE NORTH 19° 31' 56" WEST A DISTANCE OF 331.10 FEET, THENCE NORTH 18° 26' 31" WEST A DISTANCE OF 357.32 FEET, THENCE NORTH 17° 19' 54" WEST A DISTANCE OF 287.97 FEET, THENCE NORTH 18° 28' 34" WEST A DISTANCE OF 222.31 FEET, THENCE NORTH 04° 34' 36" WEST A DISTANCE OF 95.36 FEET, THENCE NORTH 60° 57' 08" EAST A DISTANCE OF 181.05 FEET, THENCE NORTH 11° 55' 03" WEST A DISTANCE OF 176.88 FEET, THENCE NORTH 43° 33' 05" WEST A DISTANCE OF 77.62 FEET, THENCE NORTH 73° 57' 37" WEST A DISTANCE OF 176.83 FEET, THENCE NORTH 00° 26' 30" WEST A DISTANCE OF 121.21 FEET, THENCE DEPARTING THE WEST LINE OF SAID HAMMOCK LANDS NORTH 89° 19' 02" EAST A DISTANCE OF 190.46 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A, THENCE SOUTH 16° 45' 12" EAST A DISTANCE OF 534.53 FEET TO THE POINT OF BEGINNING, PARCEL CONTAINING 10.2450 ACRES OF LAND MORE OR LESS.

Handwritten initials and a circled number "154" are present in the bottom right corner of the page.

TOGETHER WITH THE FOLLOWING PARCEL "C"

A PARCEL OF LAND LYING WEST OF STATE ROAD A-1-A AND EAST OF THE INTRACOASTAL WATERWAY WITHIN SECTION 38, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A POINT OF REFERENCE BEING THE INTERSECTION POINT OF THE NORTH LINE OF GOVERNMENT SECTION 38, TOWNSHIP 11 SOUTH, RANGE 31 EAST, WITH THE WEST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A (216' R/W) THENCE SOUTH 16° 45' 12" EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD A-1-A A DISTANCE OF 1567.75 FEET TO A POINT OF CURVATURE, CONCAVE EASTERLY, THENCE SOUTHERLY A DISTANCE OF 277.88 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 02° 45' 17", A RADIUS OF 5779.65 FEET, A CHORD BEARING OF SOUTH 18° 07' 50" EAST AND A CHORD DISTANCE OF 277.85 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION, SAID POINT BEING THE BEGINNING OF A COMPOUND CURVE, CONCAVE EASTERLY, THENCE SOUTHERLY A DISTANCE OF 109.21 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 01° 04' 58", A RADIUS OF 5779.65 FEET, A CHORD BEARING OF SOUTH 20° 02' 58" EAST AND A CHORD DISTANCE OF 109.21 FEET TO A POINT OF TANGENCY, THENCE SOUTH 20° 35' 27" EAST ALONG SAID WESTERLY RIGHT-OF-WAY OF STATE ROAD A-1-A A DISTANCE OF 745.92 FEET, THENCE DEPARTING STATE ROAD A-1-A SOUTH 59° 09' 36" WEST A DISTANCE OF 250.95 FEET TO A POINT ON THE WESTERLY LINE OF THE "HAMMOCK LANDS", THENCE NORTHERLY ALONG SAID HAMMOCK LANDS THE FOLLOWING COURSES NORTH 12° 07' 18" WEST A DISTANCE OF 104.90 FEET, THENCE NORTH 12° 42' 22" WEST A DISTANCE OF 147.47 FEET, THENCE NORTH 10° 45' 14" WEST A DISTANCE OF 129.58 FEET, THENCE NORTH 24° 23' 43" WEST A DISTANCE OF 104.39 FEET, THENCE NORTH 17° 46' 35" WEST A DISTANCE OF 177.68 FEET, THENCE NORTH 14° 11' 03" WEST A DISTANCE OF 196.23 FEET, THENCE NORTH 30° 45' 27" WEST A DISTANCE OF 52.92 FEET, THENCE DEPARTING SAID WESTERLY LINE OF HAMMOCK LANDS NORTH 71° 29' 00" EAST A DISTANCE OF 175.93 FEET TO THE POINT OF BEGINNING, PARCEL CONTAINING 3.9948 ACRES OF LAND MORE OR LESS.

THE ABOVE DESCRIPTION BEING ACCOMPANIED BY AN ATTACHED DRAWING TITLED "SKETCH OF LEGAL DESCRIPTION".

PARCELS A, B AND C, CONTAINING 15.1043 ACRES MORE OR LESS.

BEARINGS REFER TO THE MERCATOR GRID SYSTEM OF THE EAST ZONE OF FLORIDA AND LOCALLY REFERENCED TO THE WEST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A IN THE VICINITY OF DESCRIBED PARCEL "A" BEING SOUTH 16° 45' 12" EAST.

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4 of 12

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TOGETHER WITH:

Johnson Beach

DESCRIPTION OF SURVEY:
BEING LOTS 10 THROUGH 14, AND LOTS 23 THROUGH 35, BLOCK 1,
LOTS 6 THROUGH 17, BLOCK 2, AND
LOTS 1 THROUGH 3, AND LOT 18, BLOCK 3,
ACCORDING TO THE SUBDIVISION PLAT OF JOHNSON BEACH,
AS RECORDED IN MAP BOOK 5, PAGE 9, OF THE PUBLIC
RECORDS OF FLAGLER COUNTY, FLORIDA
CONTAINING 7.17 ACRES, MORE OR LESS

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TOGETHER WITH:

OFF REC 0627 PAGE 1682

Malacompra Greenway East of A1A, South of Malacompra

FIVE PARCELS OF LAND BEING PORTIONS OF SECTIONS 20, 29, 33 AND 40, TOWNSHIP 10 SOUTH, RANGE 31 EAST, AND SECTION 38, TOWNSHIP 11, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF OCEAN RIDGE PART B AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGE 91 OF THE PUBLIC RECORDS IN AND FOR FLAGLER COUNTY, FLORIDA; THENCE NORTH 66°57'41" WEST, FOR 5.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING OF SOUTH 25°32'51" WEST AND A CENTRAL ANGLE OF 07°18'03", SAME LINE ALSO BEING THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY, FOR 174.87 FEET TO THE POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 1; THENCE SOUTHWESTERLY ALONG THE SAID WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY THE FOLLOWING FOUR COURSES; THENCE SOUTHWESTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING OF SOUTH 34°10'37" WEST AND A CENTRAL ANGLE OF 09°57'29", FOR 238.52 FEET; THENCE NORTH 50°50'38" WEST ALONG A LINE RADIAL TO THE LAST DESCRIBED CURVE, FOR 40.00 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1332.39 FEET, A CHORD BEARING OF SOUTH 47°09'29" WEST AND A CENTRAL ANGLE OF 20°00'13", FOR 465.18 FEET; THENCE SOUTH 59°09'36" WEST ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, FOR 95.79 FEET; THENCE NORTH 20°35'27" WEST, DEPARTING SAID WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY, ALONG THE EAST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A, FOR 727.84 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A TANGENT CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 5679.65 FEET AND A CENTRAL ANGLE OF 00°20'20", SAME LINE ALSO BEING THE SAID EAST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A, FOR 33.60 FEET; THENCE NORTH 69°44'54" EAST, DEPARTING SAID EAST RIGHT-OF-WAY LINE OF STATE ROAD A-1-A, ALONG THE SOUTH LINE OF THE 116 FOOT WIDE ADDITIONAL RIGHT-OF-WAY PARCEL FOR STATE ROAD A-1-A AS RECORDED IN OFFICIAL RECORD BOOK 277, PAGE 105, OF THE SAID PUBLIC RECORDS, FOR 116.00 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 5563.65 FEET, A CHORD BEARING OF NORTH 19°48'24" WEST AND A CENTRAL ANGLE OF 00°53'26", SAME LINE ALSO BEING THE EAST LINE OF SAID 116 FOOT WIDE ADDITIONAL RIGHT-OF-WAY PARCEL AS RECORDED IN OFFICIAL RECORD BOOK 277, PAGE 105, FOR 86.47 FEET; THENCE NORTHEASTERLY AND SOUTHEASTERLY, DEPARTING SAID 116 FOOT WIDE ADDITIONAL RIGHT-OF-WAY PARCEL, ALONG A LINE BEING 50.00 FEET SOUTHEASTERLY AND SOUTHWESTERLY OF (AS MEASURED AT RIGHT ANGLES) AND PARALLEL WITH THE SOUTH RIGHT-OF-WAY LINE OF CAMINO DEL MAR THE FOLLOWING THREE COURSES; THENCE NORTH 71°29'00" EAST, FOR 33.36 FEET; THENCE NORTHEASTERLY AND SOUTHEASTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 318.00 FEET, A CHORD BEARING OF SOUTH 83°49'16" EAST AND A CENTRAL ANGLE OF 49°23'30", FOR 274.13 FEET; THENCE SOUTH 59°07'31" EAST ALONG A NON-TANGENT LINE, FOR 570.42 FEET TO THE POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 1.

MALACOMPRA GREENWAY PARCEL 1 CONTAINING 9.36 ACRES, MORE OR LESS.

TOGETHER WITH:

COMMENCING AT THE NORTHWEST CORNER OF SAID OCEAN RIDGE PART B FOR THE POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 2; THENCE SOUTHEASTERLY ALONG THE WEST LINES OF SAID OCEAN RIDGE PART B, SAME LINES ALSO BEING THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY AS

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SHOWN ON SAID SUBDIVISION PLAT OF OCEAN RIDGE THE FOLLOWING SIX COURSES; THENCE SOUTH 19°50'00" EAST, FOR 392.82 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 2283.18 FEET AND A CENTRAL ANGLE OF 08°45'01", FOR 348.69 FEET; THENCE SOUTH 11°04'59" EAST ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, FOR 954.90 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A TANGENT CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 650.00 FEET AND A CENTRAL ANGLE OF 24°10'33", FOR 274.27 FEET; THENCE SOUTH 35°15'32" EAST ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, FOR 143.71 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 350.00 FEET AND A CENTRAL ANGLE OF 37°19'38", FOR 228.02 FEET; THENCE SOUTH 70°11'14" WEST ALONG A NON-TANGENT LINE, FOR 166.17 FEET; THENCE SOUTH 20°22'24" EAST, FOR 58.44 FEET; THENCE SOUTH 69°18'48" EAST, FOR 101.84 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING OF SOUTH 21°25'23" WEST AND A CENTRAL ANGLE OF 00°56'52", SAME LINE ALSO BEING THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY, FOR 22.70 FEET; THENCE NORTHWESTERLY AND SOUTHWESTERLY, DEPARTING SAID WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY, ALONG A LINE BEING 60.00 FEET NORTHEASTERLY AND NORTHWESTERLY OF (AS MEASURED AT RIGHT ANGLES) AND PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF SAID CAMINO DEL MAR THE FOLLOWING THREE COURSES; THENCE NORTH 59°07'31" WEST ALONG A NON-TANGENT LINE, FOR 554.19 FEET; THENCE NORTHWESTERLY AND SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 492.00 FEET, A CHORD BEARING OF NORTH 83°49'16" WEST AND A CENTRAL ANGLE OF 49°23'30", FOR 424.12 FEET; THENCE SOUTH 71°29'00" WEST ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, FOR 33.20 FEET; THENCE NORTHWESTERLY, DEPARTING SAID LINE BEING 60.00 FEET NORTHWESTERLY OF THE NORTH RIGHT-OF-WAY LINE OF CAMINO DEL MAR, ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 5563.65 FEET, A CHORD BEARING OF NORTH 17°09'41" WEST AND A CENTRAL ANGLE OF 00°48'58", SAME LINE ALSO BEING THE SAID EAST LINE OF 116 FOOT WIDE ADDITIONAL RIGHT-OF-WAY PARCEL AS RECORDED IN OFFICIAL RECORD BOOK 277, PAGE 105, FOR 79.24 FEET; THENCE NORTH 16°45'12" WEST ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, SAME LINE ALSO BEING THE SAID EAST LINE OF 116 FOOT WIDE ADDITIONAL RIGHT-OF-WAY PARCEL AS RECORDED IN OFFICIAL RECORD BOOK 277, PAGE 105, FOR 1897.51 FEET; THENCE NORTHEASTERLY ALONG THE SOUTH AND EAST LINES OF THAT CERTAIN TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORD BOOK 493, PAGE 1210 THE FOLLOWING TWO COURSES; THENCE NORTH 89°19'02" EAST, DEPARTING SAID 116 FOOT WIDE ADDITIONAL RIGHT-OF-WAY PARCEL AS RECORDED IN OFFICIAL RECORD BOOK 277, PAGE 105, FOR 27.84 FEET; THENCE NORTH 16°34'25" WEST, FOR 178.52 FEET; THENCE NORTH 89°19'02" EAST, DEPARTING SAID TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORD BOOK 493, PAGE 1210, ALONG THE SOUTH RIGHT-OF-WAY LINE OF JUNGLE HUT ROAD, FOR 894.62 FEET TO THE POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 2.

MALACOMPRA GREENWAY PARCEL 2 CONTAINING 44.56 ACRES, MORE OR LESS.

TOGETHER WITH:

COMMENCING AT THE NORTHWEST CORNER OF TRACT "E" AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGE 91 OF THE PUBLIC RECORDS IN AND FOR FLAGLER COUNTY, FLORIDA FOR THE POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 3; THENCE NORTH 70°10'00" EAST ALONG THE NORTH LINE OF SAID TRACT "E", FOR 35.00 FEET; THENCE SOUTH 19°50'00" EAST ALONG THE EAST LINE OF SAID TRACT "E" FOR 2728.34 FEET; THENCE SOUTH 89°19'02" WEST ALONG THE SOUTH LINE OF SAID TRACT "E", SAME LINE ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF JUNGLE HUT ROAD, SAME LINE ALSO BEING THE SOUTH LINE OF SAID SECTION 33, FOR 37.05 FEET;

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 Paul R.S.
 7/2/21

THENCE NORTH 19°50'00" WEST ALONG THE WEST LINE OF SAID TRACT "E", FOR 2716.19 FEET TO THE POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 3;
MALACOMPRA GREENWAY PARCEL 3 CONTAINING 2.19 ACRES, MORE OR LESS.

TOGETHER WITH:

COMMENCING AT THE SAID NORTHWEST CORNER OF TRACT "E" AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE FOR THE POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 4; THENCE NORTH 19°50'00" WEST ALONG THE EAST LINE OF MAGNOLIA MANOR UNIT 2 AS RECORDED IN MAP BOOK 5, PAGE 71 OF THE SAID PUBLIC RECORDS, SAME LINE ALSO BEING THE EAST LINE OF SAID SECTION 40, FOR 597.16 FEET; THENCE SOUTH 71°11'00" WEST ALONG THE NORTH LINE OF SAID MAGNOLIA MANOR UNIT 2, FOR 1173.18 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE, DEPARTING SAID NORTH LINE OF MAGNOLIA MANOR UNIT 2, CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 1744.08 FEET, A CHORD BEARING OF NORTH 22°49'53" WEST AND A CENTRAL ANGLE OF 08°01'45", SAME LINE ALSO BEING THE EAST LINE OF A 116 FOOT WIDE ADDITIONAL RIGHT-OF-WAY PARCEL LYING ON THE EAST SIDE OF STATE ROAD A-1-A, FOR 244.41 FEET; THENCE NORTH 18°49'00" WEST ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, SAME LINE ALSO BEING THE SAID EAST LINE OF THE ADDITIONAL RIGHT-OF-WAY PARCEL, FOR 1645.60 FEET; THENCE NORTH 71°11'00" EAST DEPARTING SAID EAST LINE OF THE ADDITIONAL RIGHT-OF-WAY PARCEL, FOR 64.00 FEET; THENCE NORTH 18°49'00" WEST, FOR 225.00 FEET; THENCE SOUTH 71°11'00" WEST, FOR 64.00 FEET; THENCE NORTH 18°49'00" WEST ALONG THE SAID EAST LINE OF THE ADDITIONAL RIGHT-OF-WAY PARCEL, FOR 350.65 FEET; THENCE NORTH 71°11'00" EAST DEPARTING SAID EAST LINE OF THE ADDITIONAL RIGHT-OF-WAY PARCEL, FOR 1146.53 FEET; THENCE NORTH 19°50'00" WEST ALONG THE SAID EAST LINE OF SECTION 40, FOR 199.90 FEET; THENCE SOUTH 71°11'00" WEST, FOR 1142.98 FEET; THENCE NORTH 18°49'00" WEST ALONG THE SAID EAST LINE OF THE ADDITIONAL RIGHT-OF-WAY PARCEL, FOR 200.13 FEET; THENCE NORTH 71°11'00" EAST DEPARTING SAID EAST LINE OF THE ADDITIONAL RIGHT-OF-WAY PARCEL, FOR 1139.43 FEET; THENCE NORTH 19°50'00" WEST ALONG THE SAID EAST LINE OF SECTION 40, FOR 850.13 FEET TO A POINT TO BE HEREINAFTER REFERRED TO AS POINT "A"; THENCE NORTH 71°10'52" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF 16TH ROAD, FOR 105.29 FEET; THENCE SOUTH 19°50'00" EAST DEPARTING SAID SOUTH RIGHT-OF-WAY LINE OF 16TH ROAD, FOR 863.12 FEET; THENCE SOUTHEASTERLY AND SOUTHWESTERLY ALONG THE ARC OF A TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1146.00 FEET AND A CENTRAL ANGLE OF 52°42'20", FOR 1048.67 FEET; THENCE SOUTH 32°52'20" WEST ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, FOR 208.58 FEET; THENCE SOUTHWESTERLY AND SOUTHEASTERLY ALONG THE ARC OF A TANGENT CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 824.75 FEET AND A CENTRAL ANGLE OF 109°36'27", FOR 1577.76 FEET; THENCE SOUTH 76°44'07" EAST ALONG A LINE TANGENT TO THE LAST DESCRIBED CURVE, FOR 319.07 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A TANGENT CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 580.00 FEET AND A CENTRAL ANGLE OF 36°53'45", FOR 373.49 FEET TO A NON-TANGENT LINE; THENCE SOUTH 19°50'00" EAST ALONG SAID NON-TANGENT LINE, FOR 595.60 FEET; THENCE SOUTH 70°10'00" WEST ALONG THE NORTH RIGHT-OF-WAY LINE OF HOTEL TRACE AS SHOWN ON THE SAID SUBDIVISION PLAT OF OCEAN RIDGE AND THE SAID NORTH LINE OF TRACT "E", FOR 35.00 FEET TO THE POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 4.

MALACOMPRA GREENWAY PARCEL 4 CONTAINING 47.44 ACRES, MORE OR LESS.

TOGETHER WITH:

COMMENCING AT THE BEFORE MENTIONED POINT "A"; THENCE NORTH 19°50'00" WEST ALONG THE SAID EAST LINE OF SECTION 40, FOR 80.00 FEET TO THE

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R.A.
M...

POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 5; THENCE SOUTH 71°10'52" WEST ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID 16TH ROAD, FOR 1122.93 FEET; THENCE NORTH 18°49'00" WEST, DEPARTING SAID NORTH RIGHT-OF-WAY LINE OF 16TH ROAD, ALONG THE SAID EAST LINE OF THE ADDITIONAL RIGHT-OF-WAY PARCEL FOR 1802.94 FEET; THENCE NORTH 71°11'00" EAST DEPARTING SAID EAST LINE OF THE ADDITIONAL RIGHT-OF-WAY PARCEL, FOR 692.33 FEET; THENCE NORTH 18°49'00" WEST, FOR 808.33 FEET; THENCE SOUTH 71°11'00" WEST, FOR 692.33 FEET; THENCE NORTH 18°49'00" WEST ALONG THE SAID EAST LINE OF ADDITIONAL RIGHT-OF-WAY PARCEL, FOR 2513.89 FEET; THENCE NORTH 71°10'09" EAST, DEPARTING SAID EAST LINE OF THE ADDITIONAL RIGHT-OF-WAY PARCEL, ALONG THE SOUTH RIGHT-OF-WAY LINE OF MALACOMPRA ROAD, FOR 1018.79 FEET; THENCE NORTH 88°23'31" EAST ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF MALACOMPRA ROAD, FOR 1383.19 FEET; THENCE SOUTH 06°40'40" EAST, DEPARTING SAID SOUTH RIGHT-OF-WAY LINE OF MALACOMPRA ROAD, FOR 346.00 FEET; THENCE NORTH 86°58'40" WEST, FOR 25.39 FEET; THENCE SOUTH 89°20'43" WEST, FOR 429.08 FEET; THENCE NORTH 88°35'19" WEST, FOR 447.89 FEET; THENCE NORTH 77°29'34" WEST, FOR 172.44 FEET; THENCE SOUTH 65°09'24" WEST, FOR 109.14 FEET; THENCE SOUTH 37°45'16" WEST, FOR 134.01 FEET; THENCE SOUTH 22°18'22" EAST, FOR 198.89 FEET; THENCE SOUTH 67°38'26" EAST, FOR 185.17 FEET; THENCE NORTH 03°55'05" EAST, FOR 72.44 FEET; THENCE SOUTH 64°48'00" EAST, FOR 187.66 FEET; THENCE SOUTH 12°02'29" WEST, FOR 87.21 FEET; THENCE SOUTH 76°15'40" WEST, FOR 211.80 FEET; THENCE SOUTH 11°27'27" WEST, FOR 47.51 FEET; THENCE SOUTH 73°37'08" WEST, FOR 91.79 FEET; THENCE SOUTH 19°15'37" EAST, FOR 87.11 FEET; THENCE NORTH 70°06'51" EAST, FOR 123.21 FEET; THENCE NORTH 79°47'45" EAST FOR 260.43 FEET; THENCE SOUTH 05°03'34" WEST, FOR 40.80 FEET; THENCE SOUTH 44°34'56" WEST, FOR 278.74 FEET; THENCE SOUTH 25°21'31" WEST, FOR 51.98 FEET; THENCE SOUTH 72°09'58" WEST, FOR 73.27 FEET; THENCE SOUTH 21°56'40" EAST, FOR 190.10 FEET; THENCE NORTH 69°59'06" EAST, FOR 177.44 FEET; THENCE SOUTH 89°40'32" EAST, FOR 103.81 FEET; THENCE NORTH 54°44'52" EAST, FOR 98.62 FEET; THENCE SOUTH 74°25'41" EAST, FOR 142.71 FEET; THENCE SOUTH 00°45'31" WEST, FOR 59.23 FEET; THENCE SOUTH 65°59'46" WEST, FOR 153.54 FEET; THENCE SOUTH 26°44'08" WEST, FOR 76.05 FEET; THENCE SOUTH 33°35'46" EAST, FOR 96.46 FEET; THENCE NORTH 70°55'53" EAST, FOR 83.76 FEET; THENCE SOUTH 69°29'29" EAST, FOR 55.90 FEET; THENCE SOUTH 33°40'33" EAST FOR 54.84 FEET; THENCE SOUTH 22°58'43" EAST, FOR 100.23 FEET; THENCE SOUTH 12°53'10" EAST, FOR 143.83 FEET; THENCE SOUTH 12°49'52" EAST, FOR 115.20 FEET; THENCE SOUTH 00°32'26" WEST, FOR 129.44 FEET; THENCE SOUTH 09°57'13" WEST, FOR 99.69 FEET; THENCE SOUTH 68°58'46" WEST, FOR 72.14 FEET; THENCE NORTH 68°46'59" WEST, FOR 108.95 FEET; THENCE SOUTH 13°02'02" WEST, FOR 62.03 FEET; THENCE SOUTH 77°16'02" EAST, FOR 146.92 FEET; THENCE SOUTH 13°27'28" EAST, FOR 107.80 FEET; THENCE SOUTH 48°19'39" EAST, FOR 109.90 FEET; THENCE SOUTH 23°58'57" EAST, FOR 160.70 FEET; THENCE SOUTH 55°59'44" EAST, FOR 189.15 FEET; THENCE SOUTH 28°30'24" EAST, FOR 166.46 FEET; THENCE SOUTH 24°28'06" EAST, FOR 104.57 FEET; THENCE SOUTH 31°12'25" EAST, FOR 140.61 FEET; THENCE SOUTH 36°46'01" EAST, FOR 100.09 FEET; THENCE SOUTH 21°19'39" EAST, FOR 154.78 FEET; THENCE SOUTH 05°34'25" EAST, FOR 92.88 FEET; THENCE SOUTH 00°17'49" WEST, FOR 127.19 FEET; THENCE SOUTH 15°04'13" EAST, FOR 166.16 FEET; THENCE SOUTH 06°54'06" EAST, FOR 211.51 FEET; THENCE SOUTH 08°15'57" WEST, FOR 103.66 FEET; THENCE SOUTH 09°12'42" EAST, FOR 120.77 FEET; THENCE SOUTH 07°36'55" WEST, FOR 55.29 FEET; THENCE SOUTH 13°14'09" WEST, FOR 52.18 FEET; THENCE SOUTH 07°50'10" EAST, FOR 175.05 FEET; THENCE SOUTH 03°41'59" EAST, FOR 195.76 FEET; THENCE SOUTH 17°50'12" EAST, FOR 113.97 FEET; THENCE SOUTH 20°47'52" EAST, FOR 142.41 FEET; THENCE SOUTH 71°10'52" WEST ALONG THE SAID NORTH RIGHT-OF-WAY LINE OF 16TH ROAD, FOR 98.10 FEET TO THE POINT OF BEGINNING OF MALACOMPRA GREENWAY PARCEL 5.

MALACOMPRA GREENWAY PARCEL 5 CONTAINING 150.48 ACRES, MORE OR LESS.

MALACOMPRA GREENWAY PARCELS 1 THRU 5 CONTAINING A TOTAL OF 254.03 ACRES, MORE OR LESS.

KK
 E. R. S.
 M. M.

TOGETHER WITH:

Greenway West of A1A

LEGAL DESCRIPTION - PARCEL "A"

A PARCEL OF LAND LOCATED IN SECTION 10, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 10, TOWNSHIP 11 SOUTH, RANGE 31 EAST AS A POINT OF REFERENCE; THENCE S00°37'39"E ALONG THE WEST LINE OF SAID SECTION 10 A DISTANCE OF 2859.96 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD A1A; THENCE DEPARTING SAID WEST LINE OF SECTION 10 N89°35'08"E ALONG SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROAD A1A A DISTANCE OF 308.96 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N89°35'08"E A DISTANCE OF 140.34 FEET TO THE ACCESS TRACT BOUNDARY OF ISLAND ESTATES (ISLAND ESTATES BEING RECORDED IN MAP BOOK 28, PAGES 43 THROUGH 51, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA); THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROAD A1A S45°24'56"E ALONG SAID ACCESS TRACT BOUNDARY A DISTANCE OF 70.71 FEET; THENCE S00°24'58"E A DISTANCE OF 199.78 FEET TO THE NORTH LINE OF THE FLORIDA EAST COAST CANAL (A 200 FOOT WIDE CANAL RIGHT-OF-WAY PER DEED BOOK 18, PAGES 42 THROUGH 44, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA); THENCE DEPARTING SAID ACCESS TRACT BOUNDARY N89°41'27"W ALONG SAID CANAL RIGHT-OF-WAY LINE A DISTANCE OF 189.43 FEET; THENCE DEPARTING SAID CANAL RIGHT-OF-WAY LINE N00°37'47"W A DISTANCE OF 247.39 FEET TO THE AFOREMENTIONED POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 1.06 ACRES, MORE OR LESS.

Handwritten signature and initials, including a circled 'KX' and the name 'C. R. J. Hook'.

LEGAL DESCRIPTION - PARCEL "B"

A PARCEL OF LAND LOCATED IN SECTIONS 10 AND 15, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 10, TOWNSHIP 11 SOUTH, RANGE 31 EAST, AS A POINT OF REFERENCE; THENCE S00°37'39"E ALONG THE WEST LINE OF SAID SECTION 10 A DISTANCE OF 2859.96 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD A1A; THENCE DEPARTING SAID WEST LINE OF SECTION 10 N89°35'08"E ALONG SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROAD A1A A DISTANCE OF 629.30 FEET TO THE EASTERLY BOUNDARY LINE OF THE ISLAND ESTATES ACCESS TRACT (ISLAND ESTATES BEING RECORDED IN MAP BOOK 28, PAGES 43 THROUGH 51, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA), AND THE POINT OF BEGINNING; THENCE CONTINUE N89°35'08"E ALONG SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROAD A1A A DISTANCE OF 109.00 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND TAKEN FOR ADDITIONAL RIGHT-OF-WAY FOR SAID STATE ROAD A1A, PER OFFICIAL RECORDS BOOK 277, PAGES 105 THROUGH 111, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA; THENCE ALONG SAID ADDITIONAL RIGHT-OF-WAY PARCEL BOUNDARY S00°24'54"E, A DISTANCE OF 40.00 FEET; THENCE N89°35'08"E A DISTANCE OF 167.80 FEET TO A POINT OF CURVATURE; THENCE ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 1820.00 FEET, A CENTRAL ANGLE OF 67°08'39", AN ARC LENGTH OF 2132.94 FEET AND A CHORD BEARING S56°50'33"E, 2012.97 FEET TO A POINT OF TANGENCY; THENCE S23°16'13"E ALONG SAID TANGENT LINE A DISTANCE OF 1556.14 FEET TO THE NORTHERLY BOUNDARY LINE OF AN ACCESS TRACT KNOWN AS MARINERS DRIVE, AS SHOWN ON SAID ISLAND ESTATES PLAT; THENCE DEPARTING SAID ADDITIONAL RIGHT-OF-WAY PARCEL BOUNDARY FOR STATE ROAD A1A, S21°43'47"W ALONG SAID NORTHERLY LINE OF MARINERS DRIVE A DISTANCE OF 35.36 FEET; THENCE S66°43'47"W A DISTANCE OF 84.68 FEET TO THE EASTERLY LINE OF THE FLORIDA EAST COAST CANAL RIGHT-OF-WAY (A 200' FOOT WIDE CANAL RIGHT-OF-WAY PER DEED BOOK 18, PAGES 42 THROUGH 44, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA); THENCE DEPARTING SAID NORTHERLY LINE OF MARINERS DRIVE N22°41'38"W ALONG SAID EASTERLY LINE OF THE FLORIDA EAST COAST CANAL RIGHT-OF-WAY A DISTANCE OF 1508.12 FEET TO A POINT OF CURVATURE; THENCE ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 1611.52 FEET, A CENTRAL ANGLE OF 66°59'49", AN ARC LENGTH OF 1884.38 FEET AND A CHORD BEARING N56°11'33"W, 1778.85 FEET TO A POINT OF TANGENCY; THENCE N89°41'27"W ALONG SAID TANGENT LINE A DISTANCE OF 474.46 FEET TO THE AFOREMENTIONED EASTERLY BOUNDARY LINE OF THE ISLAND ESTATES ACCESS TRACT; THENCE DEPARTING SAID FLORIDA EAST COAST CANAL RIGHT-OF-WAY LINE N00°24'58"W ALONG SAID EASTERLY BOUNDARY LINE A DISTANCE OF 200.79 FEET; THENCE N44°35'04"E A DISTANCE OF 70.71 FEET TO THE AFOREMENTIONED POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 12.51 ACRES, MORE OR LESS.

KE
E.H.P.S.
Mark

LEGAL DESCRIPTION -- PARCEL "C"

A PARCEL OF LAND LOCATED IN SECTION 15, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCE AT THE NORTHWEST CORNER OF SECTION 10, TOWNSHIP 11 SOUTH, RANGE 31 EAST, AS A POINT OF REFERENCE; THENCE S00°37'39"E ALONG THE WEST LINE OF SAID SECTION 10 A DISTANCE OF 2859.96 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD A1A; THENCE DEPARTING SAID WEST LINE OF SECTION 10 N89°35'08"E ALONG SAID SOUTH RIGHT-OF-WAY LINE OF STATE ROAD A1A A DISTANCE OF 738.30 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND TAKEN FOR ADDITIONAL RIGHT-OF-WAY FOR SAID STATE ROAD A1A, PER OFFICIAL RECORDS BOOK 277, PAGES 105 THROUGH 111, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA; THENCE ALONG SAID ADDITIONAL RIGHT-OF-WAY PARCEL BOUNDARY S00°24'54"E A DISTANCE OF 40.00 FEET; THENCE N89°35'08"E A DISTANCE OF 167.80 FEET TO A POINT OF CURVATURE; THENCE ALONG SAID CURVE TO THE RIGHT HAVING A RADIUS OF 1820.08 FEET, A CENTRAL ANGLE OF 67°08'39", AN ARC LENGTH OF 2132.94 FEET AND A CHORD BEARING S56°50'33"E, 2012.97 FEET TO A POINT OF TANGENCY; THENCE S23°16'13"E ALONG SAID TANGENT LINE A DISTANCE OF 1686.14 FEET TO THE SOUTHERLY BOUNDARY LINE OF AN ACCESS TRACT KNOWN AS MARINERS DRIVE, AS SHOWN ON THE PLAT OF ISLAND ESTATES (ISLAND ESTATES BEING RECORDED IN MAP BOOK 28, PAGES 43 THROUGH 51, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA), AND THE POINT OF BEGINNING; THENCE CONTINUE S23°16'13"E A DISTANCE OF 2550.91 FEET; THENCE DEPARTING SAID ADDITIONAL RIGHT-OF-WAY PARCEL BOUNDARY FOR STATE ROAD A1A, S89°27'11"W A DISTANCE OF 22.22 FEET TO THE EASTERLY LINE OF THE FLORIDA EAST COAST CANAL RIGHT-OF-WAY (A 200' FOOT WIDE CANAL RIGHT-OF-WAY PER DEED BOOK 18, PAGES 42 THROUGH 44, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA); THENCE N19°11'11"W ALONG SAID EASTERLY LINE OF THE FLORIDA EAST COAST CANAL RIGHT-OF-WAY A DISTANCE OF 138.98 FEET; THENCE N26°58'55"W A DISTANCE OF 1662.72 FEET; THENCE N22°41'38"W A DISTANCE OF 769.51 FEET TO SAID SOUTHERLY BOUNDARY LINE OF MARINERS DRIVE; THENCE DEPARTING SAID EASTERLY CANAL RIGHT-OF-WAY LINE N66°43'47"E ALONG SAID SOUTHERLY BOUNDARY LINE OF MARINERS DRIVE A DISTANCE OF 85.49 FEET; THENCE S68°16'13"E A DISTANCE OF 35.35 FEET TO THE AFOREMENTIONED POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 4.52 ACRES, MORE OR LESS.

Handwritten signature and initials
RS
1/10/12

APPENDIX A

ZONING AMENDMENT

1. Present Land Use Classification: Planned Unit Development
2. Proposed Land Use Classification: Public Use
3. Proposed Occupancy: To develop road improvements to the current intersection at Camino Del Mar and Hammock Dunes Parkway
4. Names of abutting property owners: Dunes Community Development District
101 Jungle Hut Road, Palm Coast, FL 32137
Parcel ID Nos. 04-11-31-2984-00000-0010; 04-11-31-4900-00000-00F1; 04-11-31-2984-00010-0000
Flagler County
1769 East Moody Blvd, Building 2,
Bunnell, FL 32110
Parcel ID Nos. 04-11-31-2984-00000-00D0; &
04-11-31-2984-000E1-0100

Legal Description

A PORTION OF LAND LYING IN GOVERNMENT SECTION 4, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF OCEAN RIDGE AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGES 91-95 OF THE PUBLIC RECORDS FLAGLER COUNTY, FLORIDA; THENCE RUN NORTH 66°57'41" WEST, A DISTANCE OF 5.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY; THENCE RUN SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE AND ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING OF SOUTH 25°32'51" WEST AND A CENTRAL ANGLE OF 07°18'20", FOR 174.87 FEET TO THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING TWO COURSES; THENCE SOUTHWESTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING SOUTH 34°10'37" WEST AND A CENTRAL ANGLE OF 09°58'14", FOR A DISTANCE OF 238.52 FEET; THENCE RUN NORTH 50°50'38" WEST ALONG A LINE RADIAL TO THE LAST DESCRIBED CURVE, FOR A DISTANCE OF 40.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE NORTHEASTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 1332.39 FEET, A CHORD BEARING OF NORTH 34°09'06" EAST AND A CENTRAL ANGLE OF 10°01'16", FOR A DISTANCE OF 233.04 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY; THENCE RUN ALONG SAID RIGHT-OF-WAY SOUTH 59°07'31" EAST, A DISTANCE OF 39.98 FEET TO A POINT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE ALSO BEING THE POINT OF BEGINNING.

ENCOMPASSING 9,444 SQUARE FEET OR 0.217 ACRES MORE OR LESS.

A PORTION OF LAND LYING IN GOVERNMENT SECTION 4, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF OCEAN RIDGE AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGES 91-95 OF THE PUBLIC RECORDS FLAGLER COUNTY, FLORIDA; THENCE RUN NORTH 66°57'41" WEST, A DISTANCE OF 5.00 FEET TO THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY AND THE NORTHEASTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY; THENCE RUN SAID NORTHEASTERLY RIGHT-OF-WAY LINE NORTH 59°07'31" WEST, A DISTANCE OF 183.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE RUN NORTH 70°11'14" EAST, A DISTANCE OF 52.88 FEET; THENCE RUN SOUTH 20°22'24" EAST, A DISTANCE OF 58.44 FEET; THENCE RUN SOUTH 69°18'48" EAST, A DISTANCE OF 106.81 FEET TO A POINT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE; THENCE RUN ALONG SAID RIGHT-OF-WAY LINE 22.85 FEET SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1377.39 FEET, A CHORD BEARING OF SOUTH 21°25'47" EAST AND A CENTRAL ANGLE OF 00°57'02", FOR A DISTANCE OF 22.85 FEET TO THE POINT OF BEGINNING.

ENCOMPASSING 3,209 SQUARE FEET OR 0.074 ACRES MORE OR LESS.

Michael D. Chiumento
Michael D. Chiumento III
William J. Bosch
Vincent L. Sullivan
Diane A. Vidal
Kareen Movsesyan
Jared T. Trent
Sydney L. Nix
Eric R. Sloan, *of-counsel*
Andrew C. Grant, *of-counsel*
Thomas R. Pycraft, *of-counsel*

Michael D. Chiumento III
Managing Partner
Michael3@legalteamforlife.com



CHIUMENTO LAW

145 City Place, Suite 301
Palm Coast, FL 32164
Tel. (386) 445-8900
Fax: (386) 445-6702

2 Camino Del Mar
Palm Coast, FL 32137

By Appointment Only:
57 W. Granada Blvd.
Ormond Beach, FL 32174

December 7, 2023

Via E-mail Only

Flagler County Planning Department
Attn: Adam Mengel, Planning Director
1769 E. Moody Blvd.
Bunnell, FL 32110
E-mail: amengel@flaglercounty.org

RE: Future Land Use Map Amendment and Rezoning Application

Dear Mr. Mengel,

This Firm and I have the pleasure of representing Dunes CDD (the “District”), in connection with the attached Future Land Use Map Amendment and Rezoning Applications. The District is currently in the process of purchasing a portion of parcel identification number 04-11-31-2984-000E1-0100 & 04-11-31-2984-00000-00D0 (the “Property”). The Property is currently zoned Planned Unit Development (PUD), with a current FLUM of Conservation (CN) and presently sits vacant.

The District’s intended use for the Property is to expand the current intersection, however we realize that the Conservation designation prohibits such use and as such we cannot make the necessary improvements to the infrastructure. In order for us to do so, the District requests the County to amend the existing land use designation and rezone the Property.

FLUM AMENDMENT

We are seeking a land use amendment for the Property to change the land use designation from Conservation to Public Facilities. Included with this letter are the following:

- Application for Future Land Use Amendment less than ten acres;
- Check for the application fee in the amount of \$870.00;
- Location Map (Exhibit “A”);
- Legal Description (Exhibit “B”);
- Sketch and Description (Exhibit “C”);
- Existing Zoning (Exhibit “D”);
- Present Future Land Use Designation Map (Exhibit “E”);
- Soil Types (Exhibit “O”);

Because the addition of the 0.291 acres is being done without any increase in the number of residential units or in the population, no transportation study or population analysis is included herein. This application is strictly for the limited purpose of expanding and improving the roadway intersection as described above. As such, no recreation and open space analysis, water and sewer analysis, or drainage study is provided, as the addition of this Property has no impact in these areas.

REZONING

We are seeking to change the zoning for the Property from Planned Unit Development (PUD) to Public Use. The request for rezoning for the project is consistent with the requested FLUM Amendment and compatible with the adjacent properties. Included with this letter are the following:

- Rezoning application;
- Check for the application fee in the amount of \$445.00
- Warranty Deed;
- List of abutting property owners;
- Legal Description;
- Boundary Survey;

Because the addition of the 0.291 acres is for expanding the current roadway, no proposed occupancy analysis is provided, as there is no effect on occupancy.

CONCLUSION

The applications to amend the FLUM designation and rezone the Property should be approved. The proposed FLUM designation of Public Facilities is generally consistent with the proposed land use designation and uses in the adjacent areas, and the change from PUD to Public

Use is consistent with the adjacent properties and avoids any impact to the adjacent landowners. Staff should not find any inconsistency in the proposed designation that would be a detriment to future development in the surrounding areas.

If the County has any questions about the foregoing, please do not hesitate to contact me or my office. I can be reached most easily at michael3@legalteamforlife.com.

Sincerely,

Michael D. Chiumento III
Attorney

Enclosures: As Noted
CC: File
Client

MDC/jtt

Sketch and Description:

THIS IS NOT A SURVEY

Legal Description:

A PORTION OF LAND LYING IN GOVERNMENT SECTION 4, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF OCEAN RIDGE AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGES 91-95 OF THE PUBLIC RECORDS FLAGLER COUNTY, FLORIDA; THENCE RUN NORTH 66°57'41" WEST, A DISTANCE OF 5.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY; THENCE RUN SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE AND ARC OF A NON-TANGENT CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING OF SOUTH 25°32'51" WEST AND A CENTRAL ANGLE OF 07°18'20", FOR 174.87 FEET TO THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG SAID WEST RIGHT-OF-WAY LINE THE FOLLOWING TWO COURSES; THENCE SOUTHWESTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 1372.39 FEET, A CHORD BEARING SOUTH 34°10'37" WEST AND A CENTRAL ANGLE OF 09°58'14", FOR A DISTANCE OF 238.52 FEET; THENCE RUN NORTH 50°50'38" WEST ALONG A LINE RADIAL TO THE LAST DESCRIBED CURVE, FOR A DISTANCE OF 40.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE NORTHEASTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 1332.39 FEET, A CHORD BEARING OF NORTH 34°09'06" EAST AND A CENTRAL ANGLE OF 10°01'16", FOR A DISTANCE OF 233.04 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY; THENCE RUN ALONG SAID RIGHT-OF-WAY SOUTH 59°07'31" EAST, A DISTANCE OF 39.98 FEET TO A POINT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE ALSO BEING THE POINT OF BEGINNING.

ENCOMPASSING 9,444 SQUARE FEET OR 0.217 ACRES MORE OR LESS.

Abbreviation Legend:

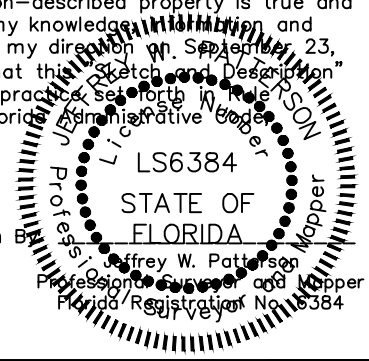
(A) - ACTUAL	Δ - DELTA	GOVT - GOVERNMENT	PC - POINT OF CURVATURE	R31E - RANGE 31 EAST
APPROX - APPROXIMATE	(D) - DEED	IP - IRON PIPE	PCC - POINT OF COMPOUND	R - RADIUS
AVG - AVERAGE	(DE) - DEED EXCEPTION	IR - IRON ROD	PG - CURVATURE	RAD - RADIAL
(BB) - BEARING BASIS	DEPT - DEPARTMENT	IR&C - IRON REBAR & CAP	PCP - PERMANENT CONTROL POINT	REC - RECOVERED
BLDG - BUILDING	D/U - DRAINAGE AND UTILITY	L - ARC LENGTH	PG - PAGE	REV - REVISION
BM - BENCH MARK	EASEMENT	LB# - LICENSED BUSINESS NUMBER	PGS - PAGES	RP - RADIUS POINT
(C) - CALCULATED	ELEV - ELEVATION	(M) - MEASURED	PI - POINT OF INTERSECTION	R/W - RIGHT-OF-WAY
C - CHORD	EOP - EDGE OF PAVEMENT	N & D - NAIL AND DISK	POB - POINT OF BEGINNING	SEC 8 - SECTION 8
CB - CHORD BEARING	ESMT - EASEMENT	NR - NON-RADIAL	POC - POINT OF COMMENCEMENT	SQ - SQUARE
CCR # - CERTIFIED CORNER RECORD NUMBER	FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION	NSI - NO SURVEYOR IDENTIFICATION	POL - POINT ON LINE	SQ FT - SQUARE FEET
C/L - CENTERLINE	FF - FINISH FLOOR	NT - NON-TANGENT	PRC - POINT OF REVERSE CURVATURE	TB - TANGENT BEARING
CM - CONCRETE MONUMENT	FND - FOUND	OR - OFFICIAL RECORDS	PRM - PERMANENT REFERENCE MONUMENT	T12S - TOWNSHIP 12 SOUTH
CONC - CONCRETE	FP&L - FLORIDA POWER AND LIGHT	ORB - OFFICIAL RECORDS BOOK	PT - POINT OF TANGENCY	(TYP) - TYPICAL
COR - CORNER	(G) - GRID (STATE PLANE)	PB - PLAT BOOK	FEC - FLORIDA EAST COAST RAILWAY	UE - UTILITY EASEMENT
		FS - FLORIDA STATUTE		W/ - WITH

Surveyor's Notes:

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- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- BEARINGS SHOWN HEREON ARE RELATIVE TO SOUTHWESTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY AS DESCRIBED IN OFFICIAL RECORDS MAP BOOK 30, PAGES 91 THROUGH 95, INCLUSIVE OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, AS BEING S 59°07'31" E.
- THE "LEGAL DESCRIPTION" HEREON WAS PREPARED BY THE SURVEYOR PER THE CLIENT'S REQUEST.
- THIS SKETCH WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR OPINION OF TITLE. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS NOTED.
- THIS IS NOT A BOUNDARY SURVEY, THIS SKETCH AND DESCRIPTION WAS PREPARED FROM INFORMATION FURNISHED TO THE SURVEYOR, NO FIELD SURVEY WAS PERFORMED TO DEFINE OWNERSHIP.

Surveyor's Certification:

I hereby certify that the attached "Sketch and Description" of the hereon-described property is true and correct to the best of my knowledge, information and belief as prepared under my direction on September 23, 2022. I further certify that this "Sketch and Description" meets the standards of practice set forth in Rule Chapter 5J-17 of the Florida Administrative Code pursuant to FS 472.027.



THE ELECTRONIC SIGNATURE HEREON IS IN COMPLIANCE WITH THE FLORIDA ADMINISTRATIVE CODE (FAC) 5J-17.062(3) AND THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JEFFREY W. PATTERSON, PSM, 6384 ON SEPTEMBER 23, 2022 PER 5J17-062(2)

TITLE BLOCK ABBREVIATIONS	
Eng. = ENGINEERING	L.B. = LICENSED BUSINESS
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Landscp. = LANDSCAPE	N/A = NOT APPLICABLE Lic. = LICENSED
No. = NUMBER	P.O. = POST OFFICE © = COPYRIGHT

NOT VALID WITHOUT SHEETS 1 THRU 2 OF 2.

Date: 9/23/2022	Job No. D6914
Drawn by: B.J.B.	Scale: N/A
	File: D6914_SK&D1

520 Palm Coast Pkwy SW - Palm Coast, FL 32137 ~ Ph: 386.445.6969

Prepared By:
CPH, Inc.
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Lndscp. Lic. No. LC0000298

Dunes Community Development District
SECTION 4-TOWNSHIP 11 SOUTH-RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

SKETCH AND DESCRIPTION

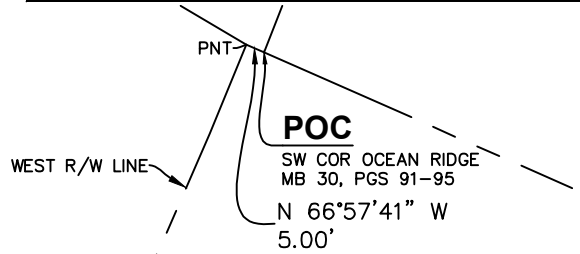
Sheet
1
1 of 2
© 2022

Sketch and Description:

THIS IS NOT A SURVEY



CAMINO DEL MAR PARKWAY
(RIGHT-OF-WAY WIDTH VARIES)



$\Delta = 7^{\circ}18'20''$
 $R = 1372.39'$
 $C = 174.87'$
 $L = 174.99'$
 $CB = S 25^{\circ}32'51'' W$

SOUTHWESTERLY
R/W LINE
(BASIS OF BEARING)
S 59°07'31" E
39.98'

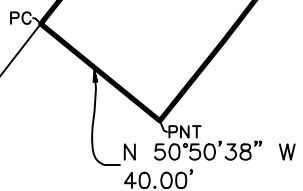
PARCEL ID #04-11-31-2984-00000-00D0
 OWNER: COUNTY OF FLAGLER
 BOARD OF COMMISSIONERS
 ADDRESS: PALM COAST 32137

ENCOMPASSING
9,444± SQ FT
0.217 ACRE

$\Delta = 10^{\circ}01'16''$
 $R = 1332.39'$
 $C = 232.74'$
 $L = 233.04'$
 $CB = N 34^{\circ}09'06'' E$

HAMMOCK DUNES PARKWAY
(RIGHT-OF-WAY WIDTH VARIES)

$\Delta = 9^{\circ}58'14''$
 $R = 1372.39'$
 $C = 238.52'$
 $L = 238.82'$
 $CB = S 34^{\circ}10'37'' W$



Graphic Scale in Feet

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Drawn by: B.J.B.	Date: 9/23/2022	Job No. D6914
	Scale: 1"=50'	File: D6914_SK&D1

520 Palm Coast Pkwy SW - Palm Coast, FL 32137 ~ Ph: 386.445.6969

Prepared By:
CPH, Inc.
 Licenses:
 Eng. C.O.A. No. 3215
 Survey L.B. No. 7143
 Arch. Lic. No. AA2600926
 Lndscp. Lic. No. LC0000298

Dunes Community Development District
 SECTION 4-TOWNSHIP 11 SOUTH-RANGE 31 EAST
 FLAGLER COUNTY, FLORIDA

SKETCH AND DESCRIPTION

Sheet
2
 2 of 2
 © 2022

Sketch and Description:

THIS IS NOT A SURVEY

Legal Description:

A PORTION OF LAND LYING IN GOVERNMENT SECTION 4, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF OCEAN RIDGE AS SHOWN ON THE SUBDIVISION PLAT OF OCEAN RIDGE AS RECORDED IN MAP BOOK 30, PAGES 91-95 OF THE PUBLIC RECORDS FLAGLER COUNTY, FLORIDA; THENCE RUN NORTH 66°57'41" WEST, A DISTANCE OF 5.00 FEET TO THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF HAMMOCK DUNES PARKWAY AND THE NORTHEASTERLY RIGHT-OF-WAY LINE OF CAMINO DEL MAR PARKWAY; THENCE RUN SAID NORTHEASTERLY RIGHT-OF-WAY LINE NORTH 59°07'31" WEST, A DISTANCE OF 183.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE RUN NORTH 70°11'14" EAST, A DISTANCE OF 52.88 FEET; THENCE RUN SOUTH 20°22'24" EAST, A DISTANCE OF 58.44 FEET; THENCE RUN SOUTH 69°18'48" EAST, A DISTANCE OF 106.81 FEET TO A POINT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE; THENCE RUN ALONG SAID RIGHT-OF-WAY LINE 22.85 FEET SOUTHWESTERLY ALONG THE ARC OF A NON-TANGENT CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 1377.39 FEET, A CHORD BEARING OF SOUTH 21°25'47" EAST AND A CENTRAL ANGLE OF 00°57'02", FOR A DISTANCE OF 22.85 FEET TO THE POINT OF BEGINNING.

ENCOMPASSING 3,209 SQUARE FEET OR 0.074 ACRES MORE OR LESS.

Abbreviation Legend:

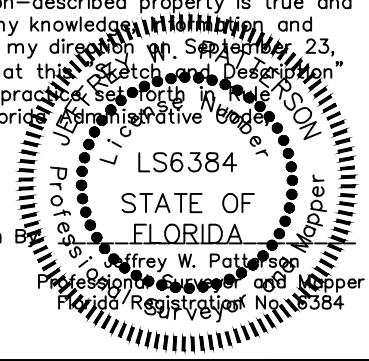
(A) - ACTUAL	Δ - DELTA	GOVT - GOVERNMENT	PC - POINT OF CURVATURE	R31E - RANGE 31 EAST
APPROX - APPROXIMATE	(D) - DEED	IP - IRON PIPE	PCC - POINT OF COMPOUND CURVATURE	R - RADIUS
AVG - AVERAGE	(DE) - DEED EXCEPTION	IR - IRON ROD	PCP - PERMANENT CONTROL POINT	RAD - RADIAL
(BB) - BEARING BASIS	DEPT - DEPARTMENT	IR&C - IRON REBAR & CAP	PG - PAGE	REC - RECOVERED
BLDG - BUILDING	D/U - DRAINAGE AND UTILITY EASEMENT	L - ARC LENGTH	PGS - PAGES	REV - REVISION
BM - BENCH MARK	ELEV - ELEVATION	LB# - LICENSED BUSINESS NUMBER	PI - POINT OF INTERSECTION	RP - RADIUS POINT
(C) - CALCULATED	EOP - EDGE OF PAVEMENT	(M) - MEASURED	POB - POINT OF BEGINNING	R/W - RIGHT-OF-WAY
C - CHORD	ESMT - EASEMENT	N & D - NON-RADIAL	POC - POINT OF COMMENCEMENT	SEC 8 - SECTION 8
CB - CHORD BEARING	FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION	NR - NO SURVEYOR IDENTIFICATION	POL - POINT ON LINE	SQ - SQUARE
CCR # - CERTIFIED CORNER RECORD NUMBER	FF - FINISH FLOOR	NT - NON-TANGENT	PRC - POINT OF REVERSE CURVATURE	SQ FT - SQUARE FEET
C/L - CENTERLINE	FND - FOUND	OR - OFFICIAL RECORDS	PRM - PERMANENT REFERENCE MONUMENT	TB - TANGENT BEARING
CM - CONCRETE MONUMENT	FP&L - FLORIDA POWER AND LIGHT	ORB - OFFICIAL RECORDS BOOK	PT - POINT OF TANGENCY	T12S - TOWNSHIP 12 SOUTH
CONC - CONCRETE	(G) - GRID (STATE PLANE)	FS - FLORIDA STATUTE	FEC - FLORIDA EAST COAST RAILWAY	(TYP) - TYPICAL
COR - CORNER				UE - UTILITY EASEMENT
				W/ - WITH

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-

Surveyor's Certification:

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For the Firm By

THE ELECTRONIC SIGNATURE HEREON IS IN COMPLIANCE WITH THE FLORIDA ADMINISTRATIVE CODE (FAC) 5J-17.062(3) AND THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JEFFREY W. PATTERSON, PSM, 6384 ON SEPTEMBER 16, 2022 PER 5J17-062(2)

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Date: 9/23/2022	Job No. D6914
Drawn by: B.J.B.	Scale: N/A
	File: D6914_SK&D2

Prepared By:
CPH, Inc.
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Lndscp. Lic. No. LC0000298

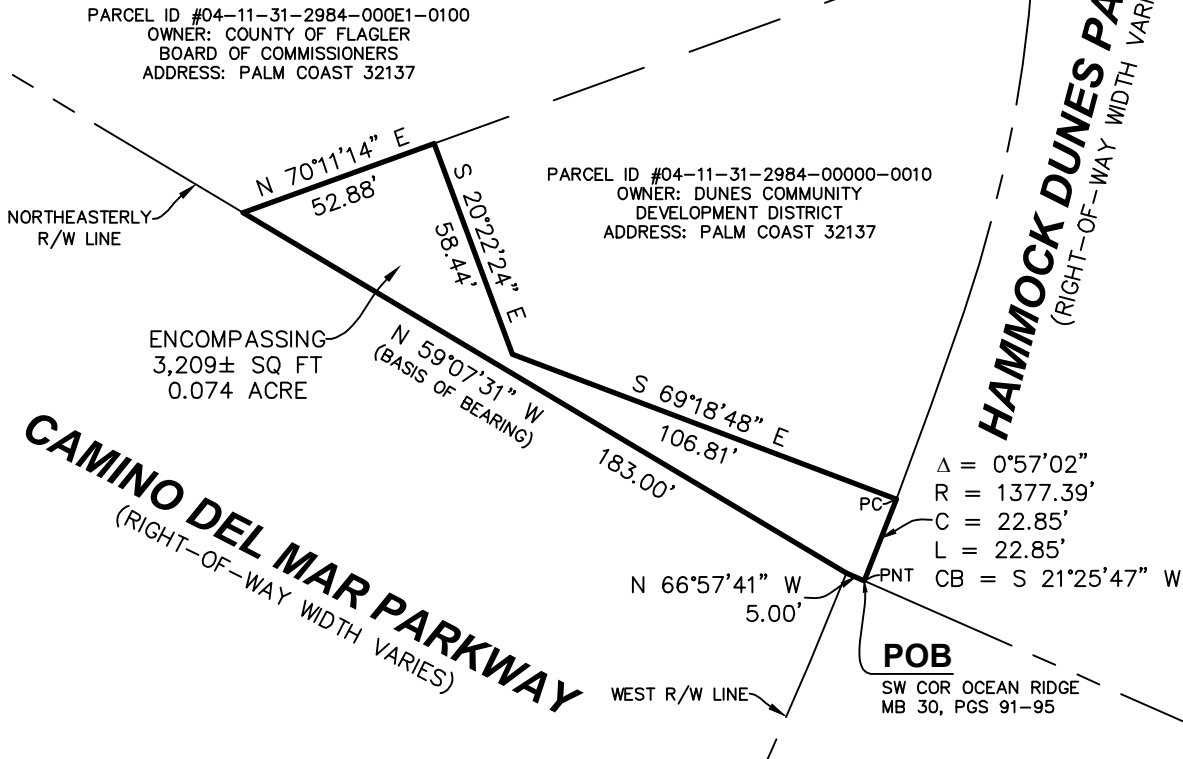
Dunes Community Development District
SECTION 4-TOWNSHIP 11 SOUTH-RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

SKETCH AND DESCRIPTION

Sheet
1
1 of 2
© 2022

Sketch and Description:

THIS IS NOT A SURVEY



Graphic Scale in Feet

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Prepared by: CPH, Inc.	Date: 9/23/2022	Job No. D6914
Drawn by: B.J.B.	Scale: 1"=50'	File: D6914_SK&D2



Prepared By:
CPH, Inc.
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
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Dunes Community Development District
SECTION 4-TOWNSHIP 11 SOUTH-RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

Sheet
2
2 of 2

SKETCH AND DECSRPTION

© 2022

Growth Management Department
Planning & Zoning
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110

www.flaglercounty.org

Phone: (386)313-4009

Fax: (386)313-4109



TECHNICAL REVIEW COMMITTEE COMMENTS

DATE: January 12, 2024

Project #: 2023120052 / AR #4546

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

Attachment: Staff Comments

Reviewing Department Comments

ZON - ZONING (386-313-4009)

Comments:

Rejected By: SIMONE KENNY - - SKENNY@FLAGLERCOUNTY.GOV

1. Please provide evidence that overhangs are not encroaching into easements, as well.

EH - ENVIRONMENTAL HEALTH DEPT

Comments:

Marked INFORMATION By: GINA LEMON - - glemon@flaglercounty.gov

1. No comments or objections.



APPLICATION FOR VARIANCE

FLAGLER COUNTY, FLORIDA
 1769 E. Moody Blvd, Suite 105
 Bunnell, FL 32110
 Telephone: (386) 313-4009 Fax: (386) 313-4109

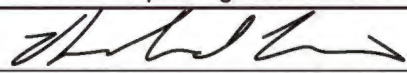
Application/Project #: 2023120052

PROPERTY OWNER(S)	Name(s): Richard Linck		
	Mailing Address: 2016 S Central Ave		
	City: Flagler Beach	State: FL	Zip: 32136
	Telephone Number 386.338.2738	Fax Number	

APPLICANT/AGENT	Name(s): Richard Linck		
	Mailing Address: 2016 S Central Ave		
	City: Flagler Beach	State: FL	Zip: 32136
	Telephone Number 386.338.2738	Fax Number	
	E-Mail Address: rlinckllc@gmail.com		

SUBJECT PROPERTY	SITE LOCATION (street address):	7 Hanover Dr	
	LEGAL DESCRIPTION: <i>(briefly describe, do not use "see attached")</i>	FAIRCHILD OAKS PHASE III LOT 81 OR 799 PG 754	
	Parcel # (tax ID #):	37-12-31-1927-00000-0810	
	Parcel Size:	10,625 sq/ft	
	Current Zoning Classification:	Residential	
	Current Future Land Use Designation	Residential	
	Subject to A1A Scenic Corridor IDO?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

Relief Requested: Home is currently sitting at 6.5' from South property line, but the setback is 7.5'. We're requesting a variance for the 1' encroachment.


 Signature of Owner(s) or Applicant/Agent _____ Date 12/11/2023
 if Owner Authorization form attached

****OFFICIAL USE ONLY****

PLANNING BOARD RECOMMENDATION/ACTION:

APPROVED []
 *APPROVED WITH CONDITIONS []
 DENIED []

Signature of Chairman: _____

Date: _____ *approved with conditions, see attached.

NOTE: The applicant or a representative, must be present at the Public Hearing since the Board, at its discretion, may defer action, table, or take decisive action on any application. Rev. 09/16



Owner's Authorization for Applicant/Agent

FLAGLER COUNTY, FLORIDA

1769 E. Moody Boulevard, Suite 105

Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project # _____

Richard Linck, is hereby authorized TO ACT ON BEHALF OF Richard + Phyllis Linck, the owner(s) of those lands described within the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to Flagler County, Florida for an application for Richard + Phyllis Linck.

(ALL PERSONS, WHO'S NAMES APPEAR ON THE DEED MUST SIGN)

By: Phyllis Linck
Signature of Owner

Phyllis Linck
Printed Name of Owner / Title (if owner is corporation or partnership)

[Signature]
Signature of Owner

Richard Linck
Printed Name of Owner

Address of Owner:

Telephone Number (incl. area code)

2016 S. Central Ave

386 479 7242

Mailing Address

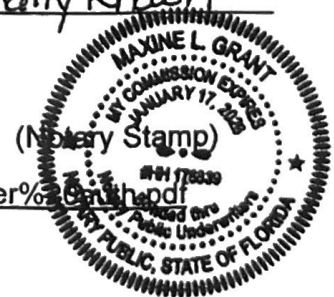
Flagler Beach FL 32136
City State Zip

STATE OF Florida

COUNTY OF Flagler

The foregoing was acknowledged before me this 13th day of December, 2023 by Phyllis Linck and Richard Linck who is/are personally known to me or who has produced personally known as identification, and who (did) / (did not) take an oath.

Maxine L. Grant
Signature of Notary Public



<http://www.flaglercounty.org/doc/dpt/centprmt/landdev/owner%20auth.pdf>

Revised 5/08



APPLICATION FOR VARIANCE

FLAGLER COUNTY, FLORIDA

1769 E. Moody Blvd, Suite 106

Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Subject Property: 7 Hanover Dr

E. *Variance guidelines.* A variance may be granted, upon application, from the terms and provisions of this article as will not be contrary to the public health, safety, welfare and morals where, owing to special conditions, a literal enforcement of the provisions of this article will, in an individual case, result in unnecessary hardship. Such variances may be granted by the planning board in such individual case of unnecessary hardship upon a written finding that:

1. There are extraordinary and exceptional conditions pertaining to particular piece of property in question because of its size, shape, topography, or other unique features that, when considered in whole or part, creates an unnecessary hardship; and

There are drainage easements located to the north and south that required the house to be positioned in such a way that it not impede with the flow of water off the property.

2. Such conditions were not created by the affirmative actions of the applicant and the applicant has acted at all times in good faith; and

I submitted a site plan on 12/16/2022 that had our home 7.8' from the south property line. Upon review (In Date 12/19/2022, Out Date 12/21/2022), Gina Lemon rejected the site plan stating, "Eaves of home may not overhang the 10' Drainage and Utility easement on left side or the 5' drainage easement on the right side." I had my land surveyor move the house to the south so that it was 6.4' from the south property line. Upon resubmission (12/22/2022) I noted there was an "Updated site plan". This updated site plan (file "7 Hanover Dr - Site Plan (Revised).pdf") which had the house clearly located 6.4' from the south property line was approved and I was issued a building permit on 1/6/2023. After clearing the lot I submitted another site plan (file "7 Hanover Dr - Site Plan (New FFE)") on 2/28/2023 to show the house at a different elevation (FFE = 27, Garage FFE = 26.5). This updated site plan still had the house clearly located 6.4' from the south property line and was approved. Based on the approved site plans I had the foundation poured and proceeded to build the house as planned. It wasn't until I submitted the final survey that there was any indication from the building department that the home was build within a stated setback.

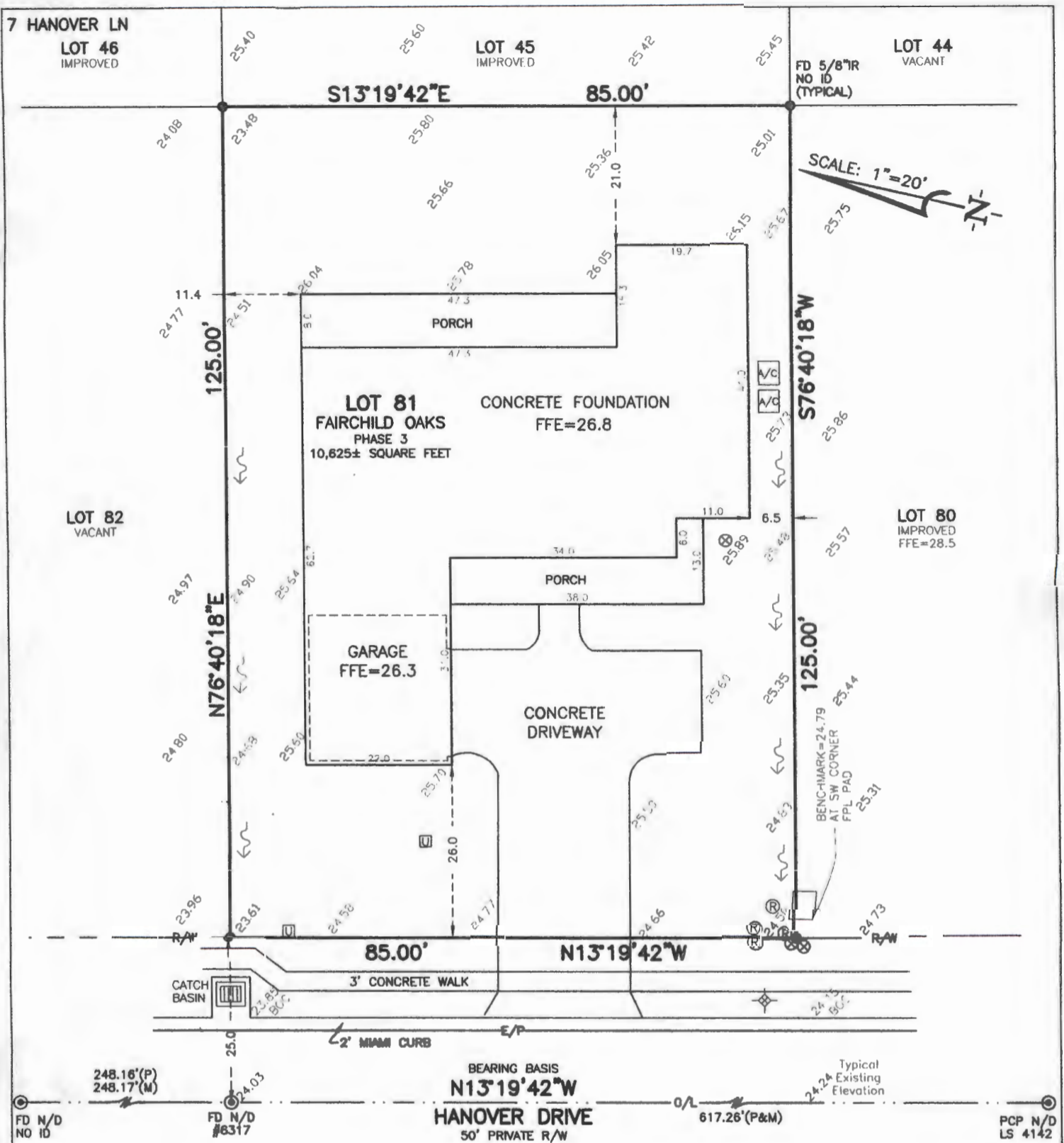
3. The variance, if granted, would not cause substantial detriment to the public health, welfare, safety, and morals of the community or impair the purpose and intent of this article; and

The requested variance is only 1' and would cause no foreseeable detriment

4. No variance may be granted for a use of land or building that is not permitted by this article.

The home was permitted by Flagler County on 1/6/2023.

A variance, if granted, shall be the minimum variance necessary to alleviate the hardship. For purposes of this section, an unnecessary hardship shall mean that without the granting of the variance the owner will be deprived of all reasonable use of the property as allowed in the zoning district.



NOTES:

1. Description furnished by client. No title work provided.
2. No overhead/underground improvements or utilities are located, unless shown.
3. Bearings are assumed and are based on plat datum.
4. Dimension category is shown in parenthesis (), when they differ from record dimensions. Monuments that fall within the suburban closure of 1:7500 [as per 5J-17.051(3)15bii] are not differentiated.
5. Flood Zone X, Map & Panel No. 12035C 0242 E, 8/6/18, as best ascertained from the Flood Insurance Rate Map.
6. Elevations are based on the N.A.V.D. of 1988. Elevations on natural ground have ±0.1' tolerance C/L elevations shall meet requirement 5J-17.052(3)(c)

LEGEND:

- | | | | |
|-----|-------------------------------|------|--------------------------------|
| C/L | Center Line | P.I. | Point of Intersection |
| FD | Found | L.B. | Licensed Business |
| N/D | Nail and Disk | L.S. | Licensed Surveyor |
| IR | Iron Rod | PCP | Permanent Control Point |
| (P) | Plat Bearing & Distance | CONC | Concrete |
| (M) | Measured Bearing & Distance | FNC | Fence or Fence Corner |
| (C) | Calculated Bearing & Distance | PSM | Professional Surveyor & Mapper |
| BM | Bench Mark | BOC | Back of Curb |
| C/S | Concrete Slab | NAVD | North American Vertical Datum |
| R/W | Right of Way | FFE | Finish Floor Elevation |
| E/P | Edge of Pavement | W/M | Water Meter |
| A/C | Air Conditioner | UR | Utility Riser |
| | | UW/M | Underground Utility |
| | | CO | Clean Out |

DESCRIPTION:

LOT 81, PHASE 3, FAIRCHILD OAKS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN MAP BOOK 31, PAGE 3, OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA

PREPARED FOR:
Richard & Phyllis Linck
Ameris Bank
Select Title Agency, LLC

A1A EAST COAST LAND SURVEYING, LLC STATE OF FLORIDA

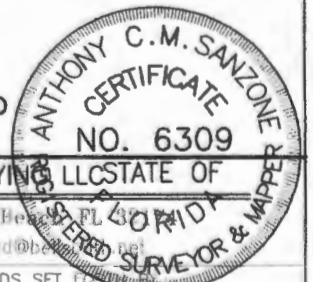
1366 US Highway 1 Suite 602, Ormond Beach, FL 32136
PHONE (386) 672-3633 or EastCoastLand@bellsouth.net

THE FOREGOING PLAT MEETS THE MINIMUM TECHNICAL STANDARDS SET FOR THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS AS PER CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE, AS PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

TYPE SURVEY:	DATE OF FIELD WORK	OFFICE WORK ORDER#	
Boundary	08/17/22	08/30/22	2208057 JMM
Site Plan	10/04/22	2210005	JMM
Foundation	04/13/23	04/21/23	2304050 AFA
Final	12/04/23	12/07/23	2312014 AEA

Anthony C Sanzone Digitally signed by Anthony C Sanzone
Date: 2023.12.08 10:48:51 -05'00'

This item has been digitally signed and sealed by Anthony Sanzone on the date adjacent to the seal. Printed copies of this document are not to be considered signed and sealed and the signature must be verified on any electronic copies. PSM# 6309 & LB #8107



Prepared by:
Christina Naves
Select Title Agency
5070 N. Oceanshore Blvd.
Palm Coast, Florida 32137

File Number: R21-0703

General Warranty Deed

Made this July 30, 2021 A.D. By **James S. Tarantola and Holly K. Tarantola, husband and wife**, whose address is: 10 Wilderness Run, Flagler Beach, Florida 32136, hereinafter called the grantor, to **Richard Thomas Linck and Phyllis Ashley Linck, husband and wife**, whose post office address is: 2108 Queenswood Drive, Tallahassee, Florida 32303, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Flagler County, Florida, viz:

Lot 81, Fairchild Oaks, Phase 3, according to the plat thereof, recorded in Plat Book 33, Pages 26 and 27, of the Public Records of Flagler County, Florida.

Parcel ID Number: 37-12-31-1927-00000-0810

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2021.

Prepared by:
Christina Naves
Select Title Agency
5070 N. Oceanshore Blvd.
Palm Coast, Florida 32137

File Number: R21-0703

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Christina J Naves
Witness Printed Name Christina J Naves

James S. Tarantola (Seal)
James S. Tarantola

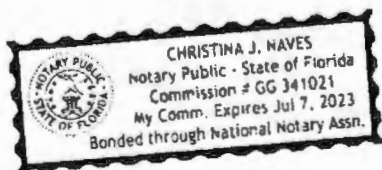
Tammy Selic
Witness Printed Name Tammy Selic

Holly K. Tarantola (Seal)
Holly K. Tarantola

State of Florida
County of Flagler

THE FOREGOING INSTRUMENT was sworn to, subscribed and acknowledged before me by means of X physical presence or _____ online notarization on July 26, 2021 by James S. Tarantola and Holly K. Tarantola who is personally known to me or who has produced Driver's License as identification and who did take an oath.

Christina J Naves
Notary Public
Print Name: _____
My Commission Expires: _____



Growth Management Department
Planning & Zoning
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110

www.flaglercounty.org

Phone: (386)313-4009

Fax: (386)313-4109



TECHNICAL REVIEW COMMITTEE COMMENTS

DATE: January 12, 2024

Project #: 2023120063 / AR #4558

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

Attachment: Staff Comments

Reviewing Department Comments

ZON - ZONING (386-313-4009)

Comments:

Rejected By: SIMONE KENNY 386-313-4009 SKENNY@FLAGLERCOUNTY.GOV

1. Please provide evidence of community water and sewer facilities per LDC sec 3.03.12
2. What is meant by 'unused right-of-way'? Provide evidence of ingress and egress.
3. Please show and dimension the turnaround for emergency vehicles.
4. Please show evidence of refuse and service areas.
5. Please provide more detailed dimensions and space requirements for the sites.
6. Please provide dimensions of existing structures.

ENGIN1 - DEVELOPMENT ENGINEERING (386-313-4082)

Comments:

Rejected By: SUSAN GRAHAM - (386)313-4082 - SGRAHAM@FLAGLERCOUNTY.GOV

Hanks Hide Away Fish Camp

1. Provide verification that a public/community water and sewer systems will be provided.
2. Provide verification that there is public access to each site. The access does not appear to be existing. Pavement design, details and cross sections will need to be provided for approval. The access will need to be upgraded to a paved surface with a turnaround for emergency apparatus.
3. Will each site have a concrete pad?
4. Additional comments may be generated with additional submittals.

EH - ENVIRONMENTAL HEALTH DEPT

Comments:

Rejected By: GINA LEMON - - glemon@flaglercounty.gov

1. A Recreational Vehicle Park Operating Permit is required to be obtained from the Florida Department of Health prior to park operation where 5 or more RV sites are proposed. Permit fees are calculated on \$4.00 per space, with a minimum fee of \$100.00 and maximum fee of \$50.00.
2. Minimum RV spaces shall be no smaller than 1200 sqft per space. With a density of no greater than 25 RV spaces per gross acre. Each site must be clearly identified and shall be located 5ft or more from exterior boundaries, and surface water.
3. An Onsite Sewage Treatment and Disposal System constructed to accommodate the estimated wastewater flow for the park is required. Sizing is based on 75 gallons per day of estimated sewage flow per RV space. Please note that an Engineer, licensed in the State of Florida, will be required to design the system where the required drainfield area is greater than 1000 sqft. Septic system shall be setback 100ft from Limited Use Wells and 75ft from surface water.
4. A Department of Health approved Limited Use Public Well and Water System will be required to be permitted and installed to supply potable water to RV Park. Well must be setback 100ft from surface water and 100ft from Septic System. Clearance sampling and routine quarterly sampling will be required. If more than 15 spaces are proposed, regulation of water system

shall be through the Department of Environmental Protection.

5. Recreational vehicle parks shall provide at least one easily accessible, backflow and back-siphonage protected potable water supply station with a water supply outlet for filling vehicle storage tanks

6. Recreational vehicle parks shall be provided with at least one easily accessible sanitary dump station for the use of occupants or patrons.

7. Recreational vehicle parks constructed after the effective date of this rule shall provide a minimum of one toilet, one urinal, one handwashing fixture, and one shower for males and two toilets, one handwashing fixture, and one shower for females.

8. If a park owner files a letter with the county health department stating the recreational vehicle park has a potable water and sewer hook-up at each site and the park only rents to recreational vehicles that are self-contained units, the park will be exempt from the potable water station, dump station, sanitary facilities requirements.



APPLICATION FOR SPECIAL EXCEPTION

FLAGLER COUNTY, FLORIDA
1769 E. Moody Boulevard, Suite 105
Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project #: 2023120063

PROPERTY OWNER(S)	Name(s): Judy B. McDonough and Thomas D. Aycock
	Mailing Address: 90 Park Place Ave
	City: Bunnell State: Florida Zip: 32110
	Telephone Number _____ Email Address: _____
	Fax Number: _____

APPLICANT/AGENT	Name(s): Judy B. McDonough and Thomas D. Aycock
	Mailing Address: 90 Park Place Ave.
	City: Bunnell State: Florida Zip: 32110
	Telephone Number 386-212-0383 Fax Number _____
	Email Address newbeginningjudy@AOL.COM

SUBJECT PROPERTY	SITE LOCATION (street address): 60 Park Place Ave. Bunnell, FL.
	LEGAL DESCRIPTION: (briefly describe, do not use "see attached")
	Parcel # (tax ID #): 36-12-28-0000 02030-0000 (Pending)
	Parcel Size: Pending 13.5
	Current Zoning Classification: Pending MH-3
	Current Future Land Use Designation: Fish Campground. AE Agriculture Timberland
	Subject to A1A Scenic Corridor IDO? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

Requested Use: Fish Campground.

Judy McDonough Thomas D Aycock
Signature of Owner(s) or Applicant/Agent
if Owner Authorization form attached

12-11-2023
Date

****OFFICIAL USE ONLY****

PLANNING BOARD RECOMMENDATION/ACTION:

APPROVED []
APPROVED WITH CONDITIONS []
DENIED []

Signature of Chairman: _____ Date: _____

NOTE: The applicant or a representative, must be present at the Public Hearing since the Board, at its discretion, may defer action, table, or take decisive action on any application. Rev. 08/14



1968 Florida WARRANTY DEED

OFFICIAL RECORDS
BOOK 28 PAGE 379

TUTTLER & ASSOCIATES, INC.
Tuttle Law Firm, Publishers, Tallahassee, Florida
10/27/68 ST. 142
110

This Indenture.

Whenever used herein, the term "party" shall include the heirs, personal representatives, successors and/or assigns of the respective parties herein; the use of the singular number shall include the plural, and the plural the singular; the use of any gender shall include all genders; and, if used, the term "note" shall include all the notes herein described if more than one.

Made this 27th day of December A. D. 1968

Between CLAUDE W. TANNER and BETTY JUNE TANNER, his wife,

of the County of Hillsborough and State of Florida
party of the first part, and

HENRY DOYLE AYCOCK and MILDRED AYCOCK, his wife,

of the County of Hillsborough and State of Florida
party of the second part,

Witnesseth, that the said party of the first part, for and in consideration of the sum of TEN AND NO/100-----(\$10.00)-----Dollars, to him in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold and transferred, and by these presents does grant, bargain, sell and transfer unto the said party of the second part, his heirs and assigns forever, all that certain parcel of land lying and being in the County of FLAGLER, and State of Florida, more particularly described as follows:

Lots One (1) through Twenty-three (23) except Lots Fourteen (14), Fifteen (15), Sixteen (16), Block "S" of St. Johns Park being a subdivision of Section 36, Township 12 South, Range 28 East, Flagler County, Florida.

A strip of land One Hundred (100) feet wide on the South side of Deen Road and extending from lake shore Easterly One Hundred (100) feet being part of the natural park, lying West of and between the platted lots of St. Johns Park Townsite and the Lake and being in Section 36, Township 12 South, Range 28 East.

Approximately Thirty (30) acres, embracing the natural park lying West of and between the platted lots of St. Johns Park Townsite and the lake; Except a strip One Hundred (100) feet wide on each side of Deen Road extending from lake shore Easterly One Hundred (100) feet and occupied by dock and wharf, in Section 36, Township 12 South, Range 28 East; AND ALSO EXCEPTING: Being a part of Government Lot Two (2) of Section Thirty-six (36), Township Twelve (12) South, Range Twenty-eight (28) East and more particularly described as follows: Beginning at the Northeast corner of the said Section Thirty-six (36), as a point of reference, and running thence South Eighty-eight (88) degrees Twenty (20) minutes West, along the center line of Deen Road, a distance of Two Thousand Three Hundred Thirty and Fifty Hundredths (2330.50) feet to an intersection with the center line of Taft Street, according to plat of St. Johns Park Subdivision, recorded in Plat Book 1, at page 168 of the public records St. Johns County, Florida; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West, along the center line of Deen Road, a distance of Eight Hundred Seventy-six and Fifty Hundredths (876.50) feet to the West boundary of Park Place Avenue; thence South One (1) degree Thirteen (13) minutes East, along the West boundary of Park Place Avenue, a distance of Two Hundred Eighty (280) feet to the point of beginning of this description; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West, a distance of Two Hundred Ten (210) feet; thence South One (1) degree Thirteen (13) minutes East, a distance of Seventy (70) feet; thence North Eighty-eight (88) degrees Forty-seven (47) minutes East, a distance of Two Hundred Ten (210) feet to the West boundary of Park Place Avenue; thence North One (1) degree Thirteen (13) minutes West, a distance of Seventy (70) feet to the point of beginning of

OFFICIAL RECORDS

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Lot Two (2) of Section Thirty-six (36), Township Twelve (12) South, Range Twenty-eight (28) East, and more particularly described as follows: Beginning at the Northeast corner of the said Section Thirty-six (36) as a point of reference and running thence South Eighty-eight (88) degrees Twenty (20) minutes West, along the North line of the said Section Thirty-six (36) (Center line of State Road S-318) a distance of Two Thousand Three Hundred Thirty and Fifty Hundredths (2330.50) feet to the Center line of Taft Street; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West, along the North line of the said Section Thirty-six (36), a distance of Two thousand Sixty-seven and Three Hundredths (2067.03) feet; thence South One (1) degree Thirteen (13) minutes East, a distance of Thirty (30) feet to the South right of way boundary of State Road S-318 and said point being the point of beginning of this description; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West, along said right of way boundary, a distance of Twenty-five (25) feet to the Northeast corner of the parcel of land described in Deed Book 54 at page 425 of the public records of Flagler County, Florida; thence South One (1) degree Thirteen (13) minutes East, a distance of One Hundred Twenty-five (125) feet; thence North Eighty-eight (88) degrees Forty-seven (47) minutes East, a distance of Twenty-five (25) feet; thence North one (1) degree Thirteen (13) minutes West, a distance of One Hundred Twenty-five (125) feet to the point of beginning of this description.

Being a part of Government Lot Seven (7) of Section Twenty-five (25) Township Twelve (12) South, Range Twenty-eight (28) East and also including all of Lot nine (9) and part of Lots Seven (7), Eight (8) and Ten (10) of Block "R" of St. Johns Park Subdivision according to plat recorded in Plat Book 1 at page 188 of the public records of St. Johns County, Florida, and being more particularly described as follows: Beginning at the Southeast corner of the said Section twenty-five (25), as a point of reference and running thence South Eighty-eight (88) degrees Twenty (20) minutes West, along the South line of the said Section Twenty-five (25) (center line of State Road S-318), a distance of Two Thousand Three Hundred Thirty and Fifty Hundredths (2330.50) feet to the center line of Taft Street; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West, along the South line of the said Section Twenty-five (25), a distance of One Thousand Five Hundred Eighty-nine and Three Hundredths (1589.03) feet; thence North One (1) degree Thirteen (13) minutes West, a distance of Fifty (50) feet to the North right of way boundary of State Road S-318 and said point being the point of beginning of this description; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West along the said North right of way boundary, a distance of Three Hundred Nine and Six Hundredths (309.06) feet; thence North One (1) degree Thirteen (13) minutes West, along said right of way boundary, a distance of Fifteen (15) feet; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West, along said right of way boundary a distance of One Hundred Fifty (150) feet; thence South One (1) degree Thirteen (13) minutes East, along said right of way boundary, a distance of Thirty-five (35) feet; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West, along said right of way boundary, a distance of One Hundred Forty-three and Ninety-four Hundredths (143.94) feet to the mean high water line of Crescent Lake; thence Northerly, along the said mean high water line, a distance of approximately One Hundred Seventy-five (175) feet to a point on the mean high water line which is One Hundred Seventy (170) feet North of, when measured at right angle to the aforementioned North right of way boundary; thence North Eighty-eight (88) degrees Forty-seven (47) minutes East, a distance of approximately Six Hundred Fifty (650) feet to a point which is North One (1) degree Thirteen (13) minutes West of and One Hundred Fifty (150) feet distance from the point of beginning; thence South One (1) degree Thirteen (13) minutes East, a distance of One Hundred Fifty (150) feet to the point of beginning of this description.. Bearings are referred to the Magnetic Meridian with no variation offset.

Also, being a part of Government Lot Two (2) of Section Thirty-six (36), Township Twelve (12) South, Range Twenty-eight (28) East, and more particularly described as follows: Beginning at the Northeast corner of the said Section Thirty-six (36), as a point of reference and running thence South Eighty-eight (88) degrees Twenty (20) minutes West, along the North line of the said Section Thirty-six (36) (Center line of State Road S-318) a distance of Two Thousand Three Hundred

STATE OF FLORIDA
 CANCELLED
 SUR TAX \$11.00

STATE OF FLORIDA
 CANCELLED
 SUR TAX \$11.00

STATE OF FLORIDA
 CANCELLED
 SUR TAX \$11.00

STATE OF FLORIDA
 CANCELLED
 SUR TAX \$110.00

OFFICIAL RECORDS
BOOK 28 PAGE 381

Thirty and Fifty Hundredths (2330.50) feet to the Center line of Taft Street; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West, along the North line of the said Section Thirty-six (36), a distance of Two Thousand Sixty-seven and Three Hundredths (2067.03) feet; thence South One (1) degree Thirteen (13) minutes East, a distance of Thirty (30) feet to the South right of way boundary of State Road S-318 and said point being the point of beginning of this description; thence South Eighty-eight (88) degrees Forty-seven (47) minutes West, along said right of way boundary, a distance of Twenty-five (25) feet to the Northeast corner of the parcel of land described in Deed Book 54 at page 425 of the public records of Flagler County, Florida; thence South One (1) degree Thirteen (13) minutes East, a distance of One Hundred Twenty-five (125) feet; thence North Eighty-eight (88) degrees Forty-seven (47) minutes East, a distance of Twenty-five (25) feet; thence North One (1) degree Thirteen (13) minutes West, a distance of One Hundred Twenty-five (125) feet to the point of beginning of this description. Bearings are referred to the Magnetic Meridian with no variation offset.

State of Florida,

BOOK 28 PAGE 382

County of HILLSBOROUGH

I HEREBY CERTIFY, That on this 27th day of December A. D. 1968, before me personally appeared

CLAUDE W. TANNER and BETTY JUNE TANNER, his wife, to me well known and known to me to be the persons described in and who executed the foregoing conveyance to

HENRY DOYLE AYCOCK and MILDRED AYCOCK, his wife, and they acknowledged the execution thereof to be their free act and deed for the uses and purposes therein mentioned.

WITNESS my signature and official seal at Tampa in the County of Hillsborough and State of Florida, the day and year last aforesaid.

Notary Public State of Florida at Large My Commission Expires Jan. 29, 1971

Handwritten signature of Notary Public

My Commission Expires

This instrument was prepared by DAVID HYMAN, Attorney at Law 200 Pierce St. Tampa, Fla. 33602



FLAGLER COUNTY, FLORIDA No 6911 9.5.74. 16th day of Dec 1968 in book 28 of Official Records on page 382-382 Record verified GEORGE M. MOODY, CLERK CIRCUIT COURT By Julius K. Hamy, D.C.

Monrando Reed

TO

Date ABSTRACT OF DESCRIPTION

RETURN TO TRINKLE, REDMAN, CLAYSON & PEAYHOUSE P. O. DRAWER TT PLANT CITY, FLORIDA, 33565



I HEREBY CERTIFY that And correct copy of the TOM BEXLEY CLERK & COMPTROLLER

By Handwritten signature

This Instrument Prepared by and Return to

EDWIN D. DAVIS, II, P.A.
570 Memorial Circle, Suite 330
Ormond Beach, FL 32174

Property Appraisers Parcel Number

361228-0000-02020-0000

06/07/2011 09:04 AM
Doc stamps 1400.00
(Transfer Amt \$ 200000)
Doc # 2011016389
Book: 1821 Page: 493
Flagler Co. FL 32110

QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED executed this 28th day of April, A.D., 2011, by **ELEANOR Y. GIBSON** joined by her husband, **JAMES GIBSON**, first party, to **JUDY B. McDONOUGH**, whose post office address is 73 Uhl Path, Palm Coast, Florida 32164. second party:

WITNESSETH: That the said first party, for and in consideration of the sum of \$10.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Flagler, State of Florida, to-wit:


See Exhibit "A" attached hereto.

TO HAVE AND TO HOLD, the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF the said first party has signed and sealed these presents the day and year first above written


Witness: EDWIN D. DAVIS, II


Witness: LURA J. BUTLER

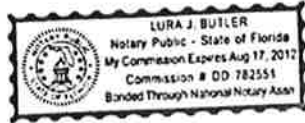

ELEANOR Y. GIBSON
90 Park Place Avenue
Bunnell, FL 32110

Edwin D. Davis, II
Witness: EDWIN D. DAVIS, II
Lura J. Butler
Witness: LURA J. BUTLER

James Gibson
JAMES GIBSON
90 Park Place Avenue
Bunnell, FL 32110

STATE OF FLORIDA
COUNTY OF VOLUSIA

THE FOREGOING INSTRUMENT was acknowledged before me this 28th day
of April, 2011, by ELEANOR Y. GIBSON and JAMES GIBSON, who () are
personally known to me or (x) have produced Florida Driver Licenses
as identification.



Lura J. Butler
Notary Public

Lots 1 through 23 except lots 14, 15, 16, Block "S" of St. Johns Park being a subdivision of Section 36, Township 12 South, Range 28 East, Flagler County, Florida. A strip of Land 100 feet wide on the South side of Deen Road and extending from lake shore Easterly 100 feet being part of the natural park, lying West of and between the platted lots of St. Johns Park Townsite and the Lake and being in Section 36, Township 12 South, Range 28 East. Approximately 30 acres, embracing the natural park lying West of and between the platted lots of St. Johns Park Townsite and the lake; Except a strip 100 feet wide on each side of Deen Road extending from lake shore Easterly 100 feet and occupied by dock and wharf, in Section 36, Township 12 South, Range 28 East; AND ALSO EXCEPTING: Being a part of Government Lot 2 of Section 36, Township 12 South, Range 28 East and more particularly described as follows: Beginning at the Northeast corner of the said Section 36, as a point of reference, and running thence South $88^{\circ}20'$ West, along the center line of Deen Road, a distance of 2330.50 feet to an intersection with the center line of Taft Street, according to plat of St. Johns Park Subdivision, recorded in Plat Book 1, at page 168 of the public records St. Johns County, Florida; thence South $88^{\circ}47'$ West, along the center line of Deen Road, a distance of 876.50 feet to the West boundary of Park Place Avenue; thence South $1^{\circ}13'$ East, along the West boundary of Park Place Avenue, a distance of 280 feet to the point of beginning of this description; thence South $88^{\circ}47'$ West, a distance of 210 feet; thence South $1^{\circ}13'$ East, a distance of 70 feet; thence North $88^{\circ}47'$ East, a distance of 210 feet to the West boundary of Park Place Avenue; thence North $1^{\circ}13'$ West, a distance of 70 feet to the point of beginning of this description; AND ALSO EXCEPTING: Being a part of Government Lot 2 of Section 36, Township 12 South, Range 28 East, and more particularly described as follows: Beginning at the Northeast corner of the said Section 36 as a point of reference and running thence South $88^{\circ}20'$ West, along the North line of the said Section 36 (Center line of State Road S-318) a distance of 2330.50 feet to the Center line of Taft Street; thence South $88^{\circ}47'$ West, along the North line of the said section 36, a distance of 2067.03 feet; thence South $1^{\circ}13'$ East, a distance of 30 feet to the South right of way boundary of State Road S-318 and said point being the point of beginning of this description; thence South $88^{\circ}47'$ West, along said right

EXHIBIT "A"

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Book: 65499
Page: 1213



of way boundary, a distance of 25 feet to the Northeast corner of the parcel of land described in Deed Bk 54 at pg 425 of the public records of Flagler County, Florida; thence South 1°13' East, a distance of 125 feet; thence North 88°47' East, a distance of 25 feet; thence North 1°13' West, a distance of 125 feet to the point of beginning of this description. Being a part of Government Lot 7 of Section 25 Township 12 South, Range 28 East and also including all of Lot 9 and part of Lots 7, 8 and 10 of Block "R" of St. Johns Park Subdivision according to plat recorded in Plat Book 1 at page 168 of the public records of St Johns County, Florida, and being more particularly described as follows: Beginning at the Southeast corner of the said Section 25, as a point of reference and running thence South 88°20' West, along the South line of the said Section 25 (center line of State Road S-318), a distance of 2330.50 feet to the center line of Taft Street; thence South 88°47' West, along the South line of the said Section 25, a distance of 1589.03 feet; thence North 1°13' West, a distance of 50 feet to the North right of way boundary of State Road S-318 and said point being the point of beginning of this description; thence South 88°47' West along the said North right of way boundary, a distance of 309.06 feet; thence North 1°13' West, along said right of way boundary a distance of 15 feet; thence South 88°47' West, along said right of way boundary a distance of 150 feet; thence South 1°13' East, along said right of way boundary, a distance of 35 feet; thence South 88°47' West, along said right of way boundary, a distance of 143.94 feet to the mean high water line of Crescent Lake; thence Northerly, along the said mean high water line, a distance of approximately 175 feet to a point on the mean high water line which is 170 feet North of, when measured at right angle to the aforementioned North right of way boundary; thence North 88°47' East, a distance of approximately 650 feet to a point which is North 1°13' west of and 150 feet distance from the point of beginning; thence South 1°13' East, a distance of 150 feet to the point of beginning of this description. Bearings are referred to the Magnetic Meridian with no variation offset. Also, being a part of Government Lot 2 of Section 36, Township 12 South, Range 28 East, and more particularly described as follows: Beginning at the Northeast corner of the said Section 36, as a point of reference and running thence South 88°20' West, along the North line of the said Section 36 (Centerline of State Road S-318) a distance of 2330.50 feet to the Center line of Taft Street; thence South 88°47' West, along the North line of the said Section 36, a distance of 2067.03 feet; thence South 1°13' East, a distance of 30 feet to the South right of way boundary of State Road S-318 and said point being the point of beginning of this description; thence South 88°47' West, along said right of way boundary, a distance of 25 feet to the Northeast corner of the parcel of land described in deed Book 54 at page 425 of the public records of Flagler County, Florida; thence South 1°13' East, a distance of 125 feet; thence North 88°47' East, a

Instrument: 2011-030574 # 5
Book: 6599
Page: 1214

4/22/2018

distance of 25 feet; thence North 1°13' West a distance
of 125 feet to the point of beginning of this description.
Bearings are referred to the Magnetic Meridian with no
variation offset.

LESS AND EXCEPT the following property described in that
certain Quit-Claim Deed dated June 24, 1993 and recorded
in Official Records Book 490, Page 1019; in that certain
Warranty Deed dated February 21, 1990 and recorded in
Official Records Book 424, Page 298; in that certain
Warranty Deed dated October 14, 1982 and recorded in
Official Records Book 203, Page 305; in that certain
Warranty Deed dated October 14, 1982 and recorded in
Official Records Book 203, Page 306; all of the Public
Records of Flagler County, Florida.

TOGETHER with that certain double-wide mobile home described
as a 1974 GLENB, Vehicle ID #4D005244S1240U and #4D005244S1240X.

1/5

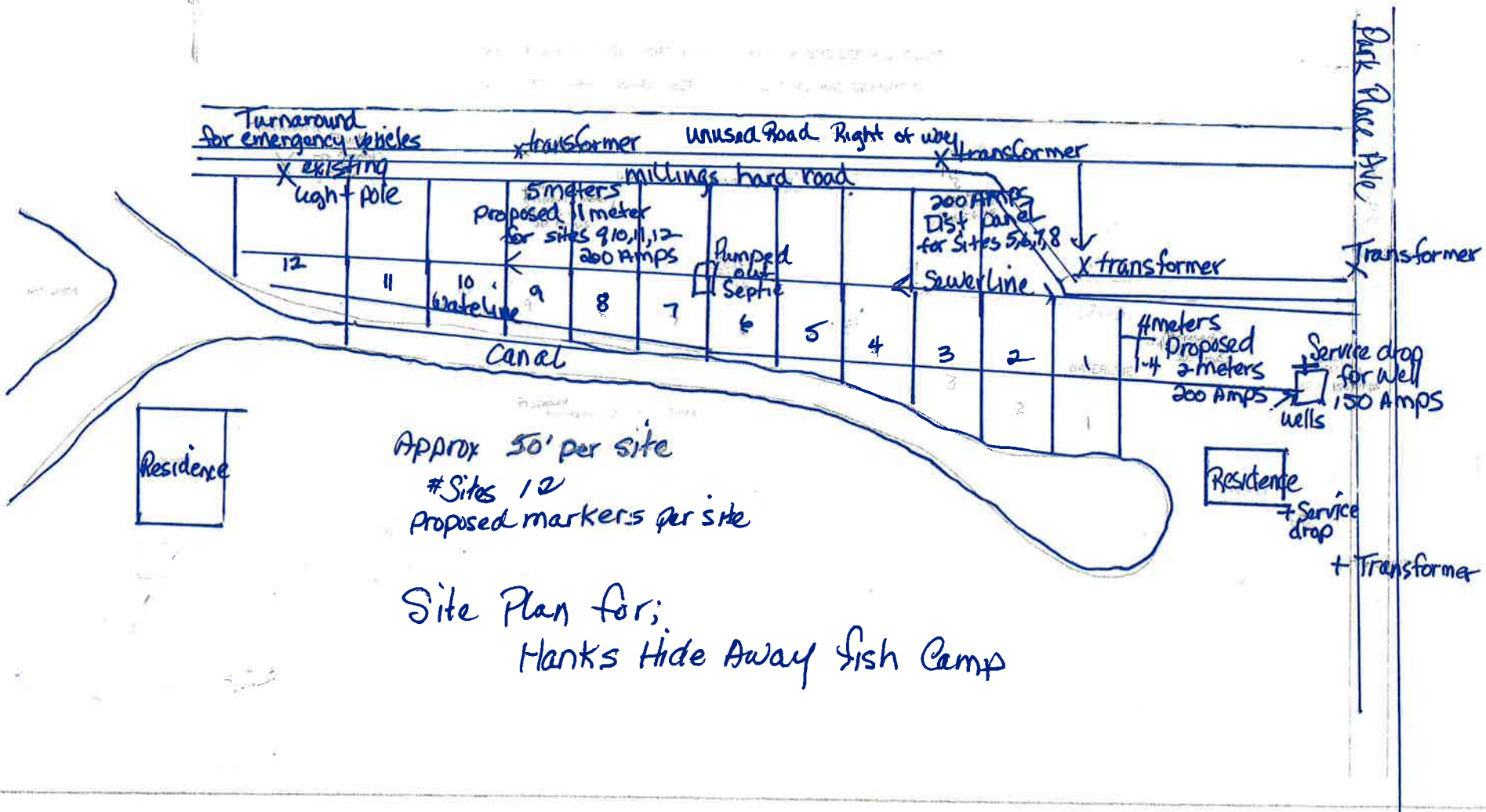
1/5



I HEREBY CERTIFY this to be a true
And correct copy of the original
TOM BEXLEY
CLERK & COMPTROLLER

By *[Signature]* J.C.

1. The site is located on the east side of Park Place Ave. The site is approximately 15 acres in size. The site is currently used as a parking lot and storage area. The site is bounded by Park Place Ave to the north and east, and an unused road to the south. The site is divided into 12 sites, each approximately 50 feet wide. The site is to be used as a camp ground for Hanks Hide Away Fish Camp. The site plan shows the location of the sites, the location of the existing light pole, the location of the proposed 200 Amps Dist. Panel, the location of the proposed 200 Amps wells, the location of the proposed 150 Amps Service drop, the location of the proposed 200 Amps Transformer, the location of the proposed 150 Amps Transformer, the location of the proposed 200 Amps Transformer, the location of the proposed 150 Amps Transformer, the location of the proposed 200 Amps Transformer, the location of the proposed 150 Amps Transformer, the location of the proposed 200 Amps Transformer, the location of the proposed 150 Amps Transformer, the location of the proposed 200 Amps Transformer, the location of the proposed 150 Amps Transformer, the location of the proposed 200 Amps Transformer, the location of the proposed 150 Amps Transformer.



Approx 50' per site
 # Sites 12
 Proposed markers per site

Site Plan for:
 Hanks Hide Away Fish Camp

lot size approx. 15 AC
 # Sites 12
 50' per site
 Proposed markers for each site

Site Plan for:	
60 Park Place Ave	
Bunnell, Fl. 32110	
Hanks Hide Away	
Camp ground	

Growth Management Department
Planning & Zoning
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110

www.flaglercounty.org

Phone: (386)313-4009

Fax: (386)313-4109



TECHNICAL REVIEW COMMITTEE COMMENTS

DATE: January 12, 2024

Project #: 2023120072 / AR #4568

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

Attachment: Staff Comments

Reviewing Department Comments

ENGIN1 - DEVELOPMENT ENGINEERING (386-313-4082)

Rejected By: SUSAN GRAHAM - (386)313-4082 - SGRAHAM@FLAGLERCOUNTY.GOV

1. The site plan shall contain an existing site plan showing the demolition that will need to be completed as well as the erosion control that will be needed to ensure that the site does not impact the drainage on CR 202.

2. The site plan will need to be complete with the existing site topo as well as proposed grading and drainage. The building finished floor elevation as well as the door locations will be required and demonstrate compliance with ADA.

ZON - ZONING (386-313-4009)

Rejected By: SIMONE KENNY - - SKENNY@FLAGLERCOUNTY.GOV

1. Please provide location of septic and well.

2. Will there be any additional restrooms/water demands in the proposed buildings?

FD1 - FIRE REVIEW

Rejected By: JERRY SMITH - JSMITH@FLAGLERCOUNTY.GOV

NFPA 1

(Florida Fire Prevention Code)

11.10.2 General

In all new an existing buildings, minimum radio signal strenght for emergency services department communications shall be maintained at a evel determined by the AHJ.

EH - ENVIRONMENTAL HEALTH DEPT

Rejected By: GINA LEMON - - glemon@flaglercounty.gov

1. Existing Onsite Sewage Treatment and Disposal System (OSTDS) originally sized for 466 total units and office space. Up to 20% domestic strength sewage flow may be added without requiring a modification to the system. If total number of storage units increases beyond an additional 186 units, a system modification will be required. Estimated flows are based on 1 gallon/day for first 200 units and 1 gallon for each 2 units thereafter.



**APPLICATION FOR SITE DEVELOPMENT PLAN
5 ACRES OR LARGER**

FLAGLER COUNTY, FLORIDA
1200 E. Moody Boulevard, #2
Bunnell, FL 32110

Telephone: (386) 437-7484 Fax: (386) 437-7488

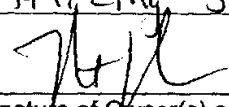
Application/Project Number:

PROPERTY OWNER(S)	Name(s):	STORAGE CENTRAL LLC	
	Mailing Address:	1366 N. US HWY 1, Suite 604	
	City:	Ormond Beach	State: FL Zip: 32174
	Telephone Number	(386) 931-2568	Fax Number ()

APPLICANT - AGENT	Name(s):	Tom Cooke + PETER LYDEN	
	Mailing Address:	1366 N US HWY 1, Suite 604	
	City:	Ormond Beach	State: FL Zip: 32174
	Telephone Number	(386) 931 2568	Fax Number ()

SUBJECT PROPERTY	SITE LOCATION (street address):	8325 US HWY 1 South	
	LEGAL DESCRIPTION: (briefly describe, do not use "see attached")	8.37 AC TOWN OF FAVORETTA NLT 669.3 of SLY 1174-16 BOUNDED ON N BY CR 202	
	Parcel # (tax ID #):	16-13-31-2000-00020-0000	
	Parcel Size:	TOTAL = 369,857 sq (Future) Phase II AREA ALL 59,757.5 sq	
	Current Zoning Classification:	Industrial	
	Current Future Land Use Designation	SELF STORAGE (004810)	
	Subject to A1A Scenic Corridor IDO?	YES	<input checked="" type="radio"/> NO
	Is this an Affordable Housing Project?	YES	<input checked="" type="radio"/> NO

PROJECT DATA: PERMITTED, Constructed, Completed - New Storage facility. Applying to improve "part of" the approved TOTAL AREA, Phase II Potential Building - Utilizing 59,757.5 sq of the TOTAL Already Approved.


Signature of Owner(s) or Applicant/Agent
if Owner Authorization form attached

12/18/2023
Date

This Document Prepared By and Return to:
Jeffrey C. Sweet, Esq.
595 W. Granada Boulevard
Suite A
Ormond Beach, Florida 32174

Parcel ID Number: 16-13-31-2000-00020-0000

Quitclaim Deed

This Quitclaim Deed, Made this 24th day of September, 2021, between **Worldwise, Inc.** a Florida corporation and **US 1 Business Park, LLC**, a Florida limited liability company, **GRANTORS**, and **Storage Central, LLC**, a Florida limited liability company, whose mailing address is: 1366 N. U.S. Hwy, 1, Suite 604, Ormond Beach, Florida 32174, **GRANTEE**.

Witnesseth that the GRANTORS, for and in consideration of the sum of **TEN DOLLARS (\$10.00)**, and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has granted, bargained and quitclaimed to the said GRANTEE and GRANTEES' heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Flagler, State of Florida to wit:

A PARCEL OF LAND IN SECTION 16, TOWNSHIP 13 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA AND IN THE PLAT OF FAVORETTA, FLORIDA, AS RECORDED IN MAP BOOK 1, PAGE 5, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT OF REFERENCE BEING THE SOUTH QUARTER CORNER OF SAID SECTION 16, RUN NORTH 2 DEGREES 05 MINUTES 59 SECONDS WEST ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 16, A DISTANCE OF 25 FEET; THENCE NORTH 89 DEGREES 27 MINUTES 44 SECONDS EAST A DISTANCE OF 332.81 FEET TO THE NORTHERLY RIGHT OF WAY OF A COUNTY MAINTAINED ROAD (50 FOOT RIGHT OF WAY); THENCE NORTH 51 DEGREES 57 MINUTES 04 SECONDS EAST ALONG SAID NORTHERLY RIGHT OF WAY A DISTANCE OF 436.41 FEET TO THE NORTHEASTERLY RIGHT OF WAY OF A PUBLIC ROAD AS RECORDED IN SAID PLAT OF FAVORETTA; THENCE ALONG SAID NORTHEASTERLY RIGHT OF WAY NORTH 39 DEGREES 34 MINUTES 13 SECONDS WEST A DISTANCE OF 509.86 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID RIGHT OF WAY NORTH 39 DEGREES 34 MINUTES 13 SECONDS WEST A DISTANCE OF 617.73 FEET TO A POINT INTERSECTING WITH THE WEST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 16; THENCE NORTH 2 DEGREES 05 MINUTES 59 SECONDS WEST A DISTANCE OF 50.94 FEET; THENCE NORTH 51 DEGREES 19 MINUTES 06 SECONDS EAST A DISTANCE OF 481.99 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NUMBER 1; THENCE ALONG SAID RIGHT OF WAY LINE SOUTH 39 DEGREES 33 MINUTES 02 SECONDS EAST A DISTANCE OF 664.30 FEET; THENCE SOUTH 51 DEGREES 57 MINUTES 04 SECONDS WEST DEPARTING SOUTHEASTERLY RIGHT OF WAY A DISTANCE OF 512.88 FEET TO THE EASTERLY RIGHT OF WAY OF COUNTY ROAD NO. 203 AND THE POINT OF BEGINNING.

TOGETHER WITH THE NORTHEAST HALF OF COUNTY ROAD NO 203 CONTIGUOUS WITH AND ADJACENT TO THE ABOVE DESCRIBED PARCEL VACATED PURSUANT TO INSTRUMENT NO. 97022081 DATED 11/24/1997 AND RECORDED AT O.R. 598, PAGE 1841.

Together with any and all riparian rights appertaining thereto.

There is no consideration for this transfer. However, although Grantee is a related entity to Grantors, Grantee and Grantor are separate and distinct entities. The current fair market value is \$250,000.00 (\$249,462.00 per Flagler County Property Assessment). Therefore, documentary stamps calculated on the current fair market value in the amount of \$1,750.00 have been affixed to the Deed.

SUBJECT to easements, covenants and restrictions of record.

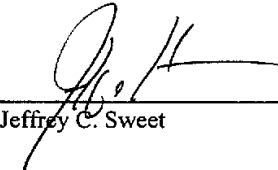
SUBJECT to encumbrances, liens, real estate taxes and assessments.

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of GRANTORS, either in law or equity, for the use, benefit and profit of the said GRANTEE forever.

In Witness Whereof, the GRANTORS have hereunto set our hands and seals the day and year first above written.


Signed, sealed and delivered in our presence:

WITNESSES- as to both:

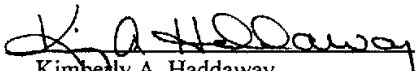


Jeffrey C. Sweet

WORLDWISE, INC.
a Florida corporation

By: 

Thomas Cooke, President



Kimberly A. Haddaway

US 1 BUSINESS PARK, LLC
a Florida limited liability company

By: 

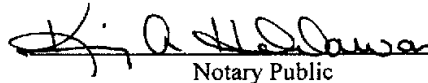
Thomas N. Cooke, Manager

STATE OF FLORIDA
COUNTY OF VOLUSIA

The foregoing Quitclaim Deed was acknowledged before me by means of [] physical presence or [] online notarization, this 24th day of September, 2021 by **Thomas Cooke, President of Worldwide, Inc.**, a Florida corporation and **Thomas N. Cooke, Manager of US 1 Business Park, LLC**, a Florida limited liability company, on behalf of the companies, who is [] personally known to me or [] produced a Driver's license as identification.



KIMBERLY A HADDAWAY
Commission # GG 254970
Expires October 2, 2022
Bonded Thru Budget Notary Services



Notary Public

