

Growth Management Department
Planning & Development
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110



www.flaglercounty.gov
Phone: (386)313-4003
Fax: (386)313-4102

FLAGLER COUNTY TECHNICAL REVIEW COMMITTEE

GOVERNMENT SERVICES BUILDING
First Floor Conference Room B108

1769 EAST MOODY BOULEVARD, BUILDING 2, BUNNELL, FL 32110

A G E N D A

DATE – DECEMBER 20, 2023

TIME – 9:00 A.M.

WHILE THE TECHNICAL REVIEW COMMITTEE IS OPEN TO THE PUBLIC, IT IS **NOT A PUBLIC HEARING**. COMMENTS MAY BE SUBMITTED PRIOR TO THE MEETING BY EMAIL TO PLANNINGDEPT@FLAGLERCOUNTY.GOV.

1. Project 2023110038 – **SPECIAL EXCEPTION IN THE C-2 (GENERAL COMMERCIAL AND SHOPPING CENTER) DISTRICT** – request for a Special Exception for storage of RV's and Boats. Parcel numbers: 35-12-31-0000-02010-0030. Owner: Dance Storage, LLC / Applicant: Ashley Marie Doucet.
(TRC, PDB)
2. Project 2023090058 – **PRELIMINARY PLAT IN A PUD (PLANNED UNIT DEVELOPMENT) DISTRICT** – request for a Preliminary Plat in a PUD for Brookside at Ormond Station in the Hunter's Ridge DRI. Parcel numbers: 21-14-31-0000-01010-0000 and a portion of 22-14-31-0000-01010-0130. Owner: US Capital Alliance, LLC / Applicant: Alann Engineering Group, Inc.
(TRC, PDB, BCC)

PLEASE TAKE NOTICE THAT INDIVIDUAL COMMISSIONERS OF THE BOARD OF COUNTY COMMISSIONERS MAY ATTEND THIS EVENT. THE COMMISSIONERS WHO ATTEND WILL NOT TAKE ANY ACTION OR TAKE ANY VOTE AT THIS MEETING. THIS IS NOT AN OFFICIAL MEETING OF THE BOARD OF COUNTY COMMISSIONERS OF FLAGLER COUNTY. THIS NOTICE IS BEING PROVIDED TO MEET THE SPIRIT OF THE SUNSHINE LAW TO INFORM THE PUBLIC THAT COMMISSIONERS MAY BE PRESENT AT THESE DISCUSSIONS. IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT, PERSONS NEEDING ASSISTANCE TO PARTICIPATE IN THIS MEETING SHOULD CONTACT THE PLANNING & ZONING DEPARTMENT AT (386) 313-4009 AT LEAST 48 HOURS PRIOR TO THE MEETING.

Andy Dance
District 1

Greg Hansen
District 2

David Sullivan
District 3

Leann Pennington
District 4

Donald O'Brien, Jr.
District 5

Growth Management Department
Planning & Zoning
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Bunnell, FL 32110

www.flaglercounty.org

Phone: (386)313-4009

Fax: (386)313-4109



TECHNICAL REVIEW COMMITTEE COMMENTS

DATE: December 18, 2023

Project #: 2023110038 / AR #4495

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

Attachment: Staff Comments

Reviewing Department Comments

ENGIN1 - DEVELOPMENT ENGINEERING (386-313-4082)

Comments:

Rejected By: SUSAN GRAHAM - (386)931-0207 - SGRAHAM@FLAGLERCOUNTY.GOV

Doucet/Dance Storage Facility

Special Exception Request

2023110038

1.The site plan needs to demonstrate by a complete topo survey and grading plan that the site can be constructed as it is laid out with the existing grades and demonstrate that the site will not drain onto the adjacent property.

Provide the SJRWMD permit or exemption.

2.The driveway / access must be fully dimensioned along with the site-specific grading, striping, and signage. The taper will be squared in the end as to avoid damage to the pavement.

3.The sidewalk easement shall be a deeded strip of land that is deeded to Flagler County.

4.Additional comments may be provided upon resubmittal.

FIRE REVIEW

Comments are pending.



APPLICATION FOR SPECIAL EXCEPTION

FLAGLER COUNTY, FLORIDA
 1769 E. Moody Boulevard, Suite 105
 Bunnell, FL 32110
 Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project #: 2023110038

PROPERTY OWNER(S)	Name(s): Dance Storage, LLC (Nancy Dance)		
	Mailing Address: 3800 S Old Kings Road		
	City: Flagler Beach	State: Florida	Zip: 32136
	Telephone Number 386-453-9500	Email Address: nancydancec21@gmail.com	
	Fax Number: (386) 441-5079		

APPLICANT/AGENT	Name(s): Alexander Doucet & Ashley Doucet		
	Mailing Address: 22 Cedarview Ct		
	City: Palm Coast	State: Florida	Zip: 32137
	Telephone Number 386-503-8633	Fax Number	
	Email Address AlexandAshley2019@gmail.com		

SUBJECT PROPERTY	SITE LOCATION (street address):	4290 S Old Kings Road	
	LEGAL DESCRIPTION: (briefly describe, do not use "see attached")	POB BEING 710.79' N OF SELY SEC CRNR 35 SAME RUNNING ALONG THE WLY ROW OKR THENCE ALONG A CURVE 519.51' LEAVING OKR SW 564.32', SW 188.29', SE 704.50' TO WLY ROW OKR AND POB OR 1 694/1913-NANCY H DANCE PR FOR GEORGE OR 1715/1066-DANCE TRUST	
	Parcel # (tax ID #):	35-12-31-0000-02010-0030	
	Parcel Size:	217,796 Square Feet or 4.99990817 Acres	
	Current Zoning Classification:	C-2	
	Current Future Land Use Designation	Commercial: High Intensity	
	Subject to A1A Scenic Corridor IDO?	YES	<input checked="" type="checkbox"/> NO

Requested Use: Recreational vehicle parking. Recreational vehicles may include, but not limited to, motor homes, travel trailers, campers, vessels, boats, boat trailers, or similar vehicles, equipment or apparatus.

Signature of Owner(s) or Applicant/Agent _____ Date _____
 if Owner Authorization form attached

****OFFICIAL USE ONLY****

PLANNING BOARD RECOMMENDATION/ACTION: APPROVED []
 APPROVED WITH CONDITIONS []
 DENIED []

Signature of Chairman: _____ Date: _____

NOTE: The applicant or a representative, must be present at the Public Hearing since the Board, at its discretion, may defer action, table, or take decisive action on any application. Rev. 08/14



Owner's Authorization for Applicant/Agent

FLAGLER COUNTY, FLORIDA

1769 E. Moody Boulevard, Suite 105

Bunnell, FL 32110

Telephone: (386) 313-4009 Fax: (386) 313-4109

Application/Project # _____

Alexander Doucet & Ashley Doucet _____, is hereby authorized TO ACT ON BEHALF OF NANCY DANCE, the owner(s) of those lands described within the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to Flagler County, Florida for an application for special exception application.

(ALL PERSONS, WHO'S NAMES APPEAR ON THE DEED MUST SIGN)

By: _____
Signature of Owner

Printed Name of Owner / Title (if owner is corporation or partnership)

[Signature]
Signature of Owner

NANCY H. DANCE
Printed Name of Owner

Address of Owner:
3800 Old Kings Rd. So.
Mailing Address

Telephone Number (incl. area code)
386-453-9500

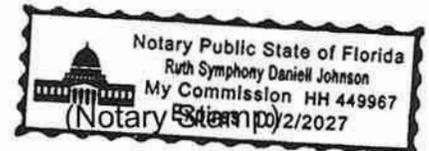
Flagler Bch., Fl 32136
City State Zip

STATE OF Florida

COUNTY OF Volusia

The foregoing was acknowledged before me this 9th day of November, 2023 by Nancy Dance and _____ who is/are personally known to me or who has produced I.D. as identification, and who (did) / (did not) take an oath.

[Signature]
Signature of Notary Public



<http://www.flaglercounty.org/doc/dpt/centprmt/landdev/owner%20auth.pdf>

Revised 5/08

This Instrument was prepared by and return to:

MICHAEL A. PYLE, Esq.
PYLE, DELLINGER & DUZ, PLLC
1655 N. Clyde Morris Blvd., Ste. 1
Daytona Beach, FL 32117
Property Appraiser's Parcel I.D. No. 35-12-31-0000-02010-0030
Our File No. 6554-002

Warranty Deed

(STATUTORY FORM -- §689.02, F.S.)

This Indenture, made this 12th day of October, 2022.

Between NANCY H. DANCE, an un-remarried widow, individually and as Trustee of the NANCY H. DANCE REVOCABLE TRUST dated March 4, 2009, whose post office address is 3800 S. Old Kings Road, Flagler Beach, FL 32136, Grantor,

and

DANCE STORAGE, LLC, a Florida limited liability company, Grantee,

Witnesseth, That said Grantor, for and in consideration of the sum of Ten and no/100 (\$10.00) Dollars and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee and Grantee's heirs and assigns forever the following described land, situate, lying and being in **Flagler** County, Florida, to-wit:

SEE ATTACHED EXHIBIT A

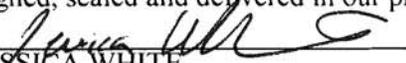
SUBJECT TO taxes for 2022 and subsequent years.

SUBJECT TO easements, conditions and restrictions of record, if any, the mention of which herein shall not operate to reimpose same.

and said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

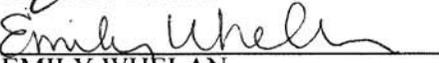
In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:



JESSICA WHITE





EMILY WHELAN

NOTICE

In the preparation of this instrument , the scrivener has not examined title to the described property and makes no warranty, representation or opinion, either express or implied, as to the title, quantity or boundaries of the property or the existence of any liens, unpaid taxes, or other encumbrances.

STATE OF FLORIDA
COUNTY OF VOLUSIA

The foregoing instrument was acknowledged before me this 12th day of October, 2022, by NANCY H. DANCE, who (check appropriate box) is personally known to me or has produced Florida drivers license as identification.

Notary Public
Title or Rank



Notary Signature

Commission Number

MICHAEL A. PYLE
Notary Name Printed



Legal Description – from a Survey issued on August, 2004 by B.H.R. Inc.

A PARCEL OF LAND LYING IN GOVERNMENT SECTION 35, TOWNSHIP 12 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE POINT OF REFERENCE BEING THE NORTHWEST CORNER OF GOVERNMENT SECTION 35, TOWNSHIP 12 SOUTH, RANGE 31 EAST; THENCE ALONG THE WESTERLY BOUNDARY OF SAID SECTION 35 SOUTH $01^{\circ}50'44''$ WEST A DISTANCE OF 3605.92 FEET TO THE CENTER OF THE KORONA CANAL AS RECORDED IN O.R. BOOK 459, PAGE 127 AND O.R. BOOK 28, PAGE 94, PUBLIC RECORDS OF VOLUSIA COUNTY, FLORIDA; THENCE DEPARTING SAID WESTERLY LINE OF SECTION 35, RUN SOUTH $74^{\circ}00'39''$ EAST ALONG SAID CENTER OF KORONA CANAL A DISTANCE OF 1780.55 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE DEPARTING SAID KORONA CANAL RUN NORTH $17^{\circ}36'38''$ EAST A DISTANCE OF 188.92 FEET; THENCE NORTH $75^{\circ}36'15''$ EAST A DISTANCE OF 563.89 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF OLD KINGS ROAD (A 100 FOOT RIGHT-OF-WAY); THENCE SOUTH $14^{\circ}23'45''$ EAST ALONG SAID WESTERLY RIGHT-OF-WAY A DISTANCE OF 62.71 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE 457.58 FEET ALONG SAID WESTERLY RIGHT-OF-WAY AND THE ARC OF SAID CURVE HAVING A RADIUS OF 1860.08', A CENTRAL ANGLE OF $14^{\circ}06'09''$, AND A CHORD BEARING OF SOUTH $07^{\circ}20'40''$ EAST A DISTANCE OF 456.68 FEET TO THE CENTER OF SAID KORONA CANAL; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY OF OLD KINGS ROAD RUN NORTH $74^{\circ}00'39''$ WEST ALONG SAID CENTER OF KORONA CANAL A DISTANCE OF 704.37 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

PARCEL CONTAINING 217,796 SQUARE FEET OF 5.000 ACRES MORE OF LESS.

Official Copy

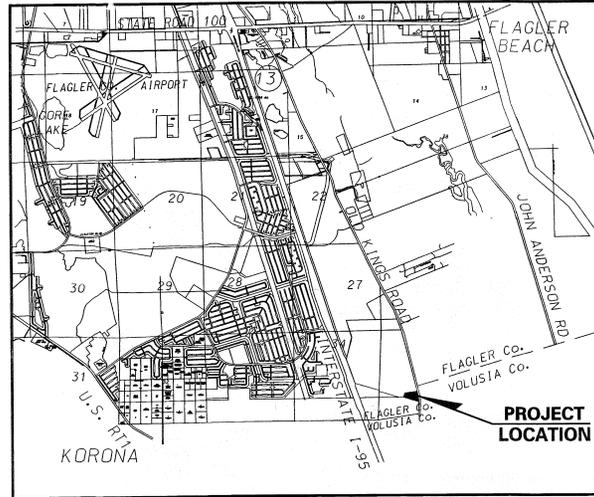
PROPOSED RV & BOAT STORAGE

AT

4290 SOUTH OLD KINGS ROAD

FLAGLER COUNTY, FLORIDA

AREA RESERVED FOR COUNTY APPROVAL STAMP



VICINITY MAP
Not To Scale



Tajmir - Davis & Assoc.

SIGN & SEAL
ENGINEER:
PERRY TROINA
FL LIC # 38189



This Structure is in Compliance with the 7th Edition of the 2007 Florida Building Code, including the 2017 (MEC) National electrical code, building code adopted NFPA 70, one and two family dwellings, in chapter 35 of the Florida Building Code Residential. THIS BUILDING HAS BEEN DESIGNED FOR ULTIMATE WIND SPEED OF 133 MPH IN THE CATEGORY II AS PER ASCE 7, TABLE 1-1.

PROPOSED RV STORAGE IN OLD KINGS ROAD

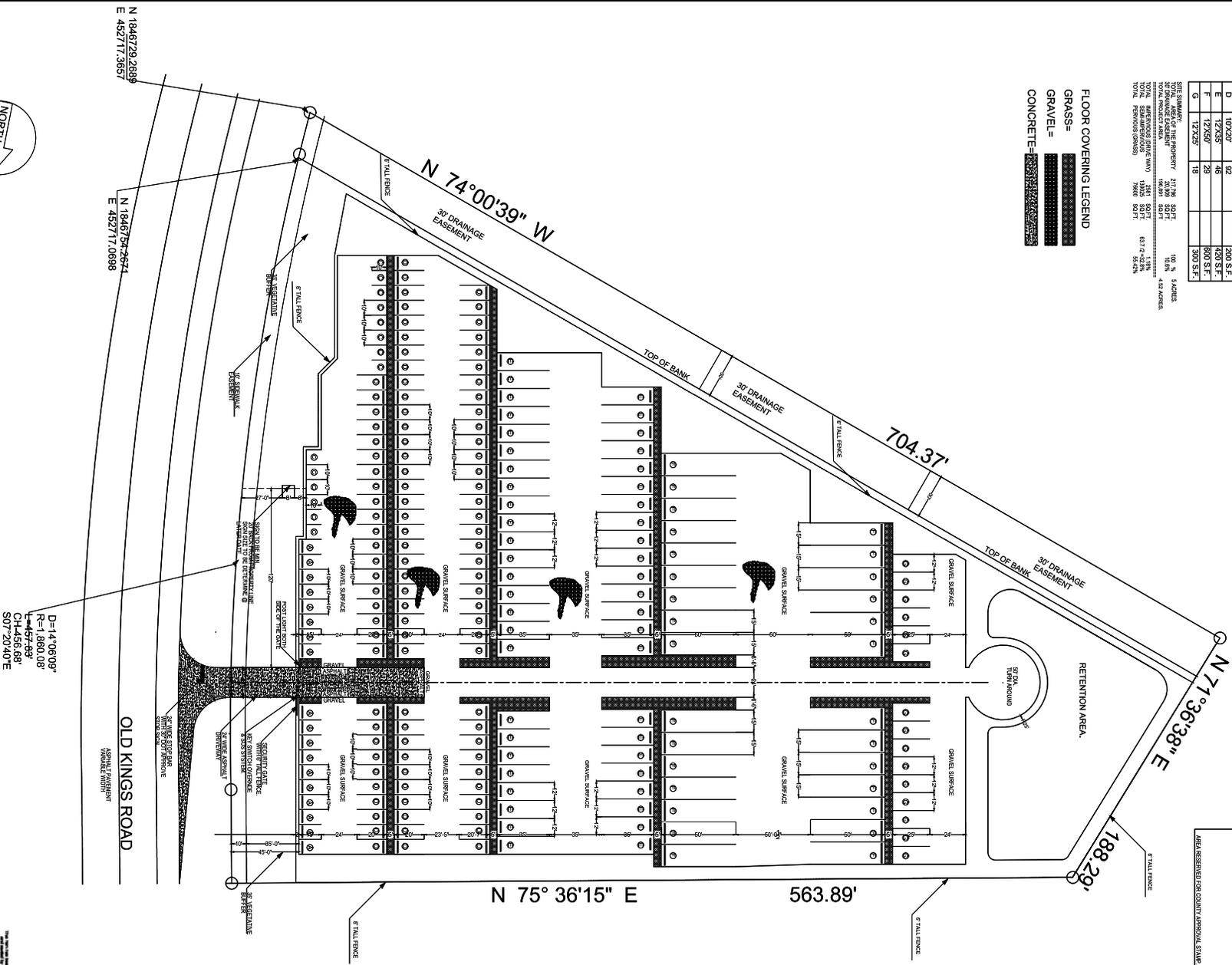
PROJECT NO.	DATE	SCALE	DATE
4290 S. Old Kings Road Flagler County, Florida	11/22/22	1"=20'	11/22/22
CHECKED BY	DATE	NOTE	



TABLE	UNIT SIZE	# UNITS	%	SQ. FT.
A	10'X15'	28		150 S.F.
B	5'X10'	0		50 S.F.
C	10'X10'	14		100 S.F.
D	10'X20'	22		200 S.F.
E	12'X35'	46		420 S.F.
F	12'X60'	28		800 S.F.
G	12'X25'	18		300 S.F.

SITE SUMMARY:
 TOTAL PROJECT AREA: 121,739 SQ. FT.
 TOTAL PROPOSED LOT AREA: 20,100 SQ. FT.
 TOTAL PROPOSED PAVEMENT: 19,800 SQ. FT.
 TOTAL PAVEMENT (EXISTING + PROPOSED): 63,175 SQ. FT.
 TOTAL PERVIOUS GRAVEL: 78,000 SQ. FT.
 TOTAL PERVIOUS GRASS: 18,180 SQ. FT.
 TOTAL: 81,355 SQ. FT.

FLOOR COVERING LEGEND
 GRASS = [Pattern]
 GRAVEL = [Pattern]
 CONCRETE = [Pattern]



Proposed Site Plan

PROPOSED RV STORAGE IN OLD KINGS ROAD

ADDRESS: 4290 S. Old Kings Road, Flagler County, Florida

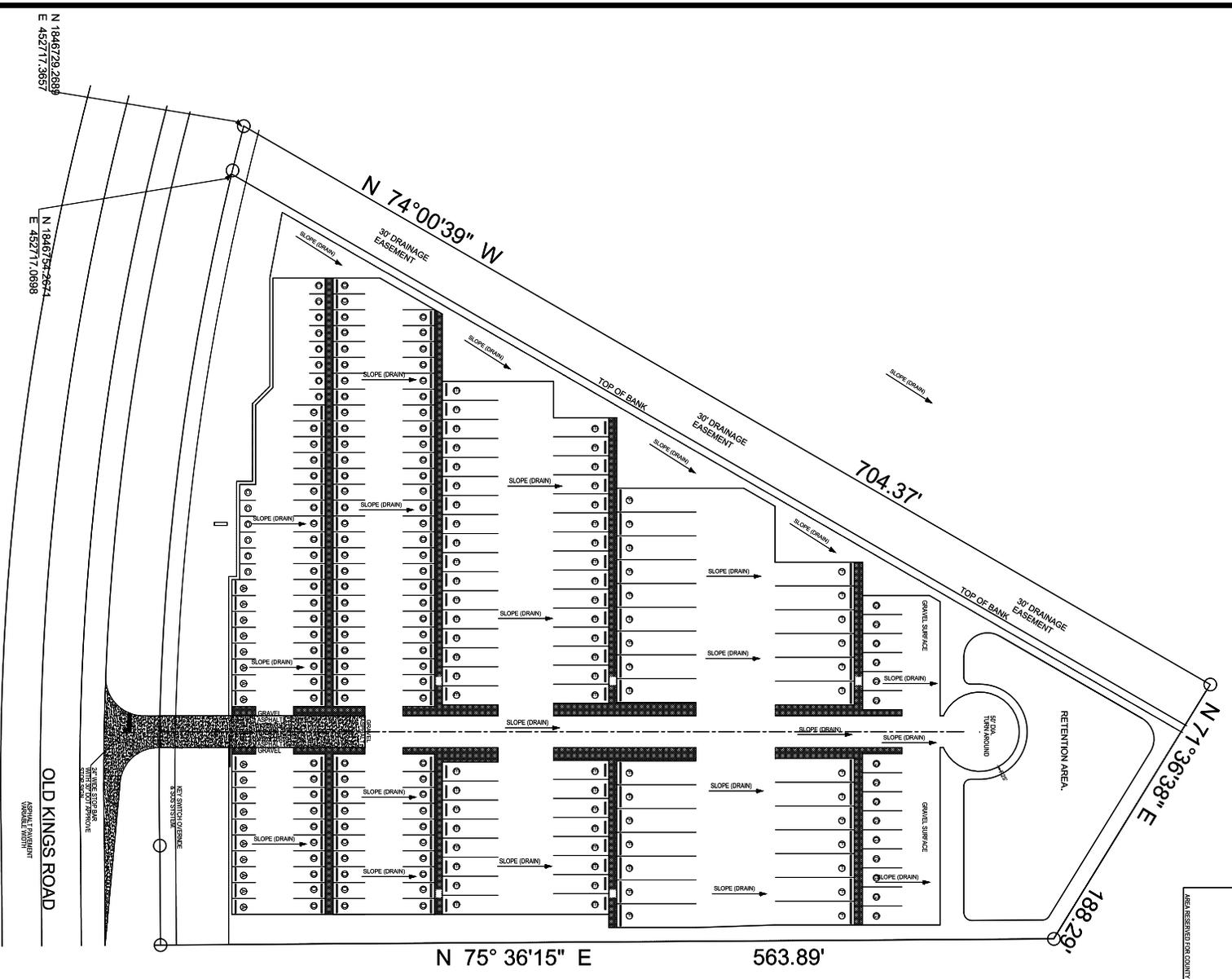
DATE: 03/01/2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]

This Structure is in "Compliance" with the 7th Edition of the 2020 Florida Building Code including the 2017 (IEC) National electrical code, building code adopted NFPA 70, code and two family dwellings, in chapter 55 of the Florida building code Residential. THE CONTRACTOR HAS REFERENCED TABLE 11.

Tajmir - Davis & Assoc.
 SIGN & SEAL: ENGINEER: PERRY TROIINA, F.L.I.C. # 36189



DATE RECEIVED FOR COUNTY APPROVAL STAMP



Proposed Site Plan

D=14°06'10"
 R=1,680.08'
 L=457.83'
 CH=456.69'
 S07°20'40"E

PROPOSED RV STORAGE IN OLD KINGS ROAD

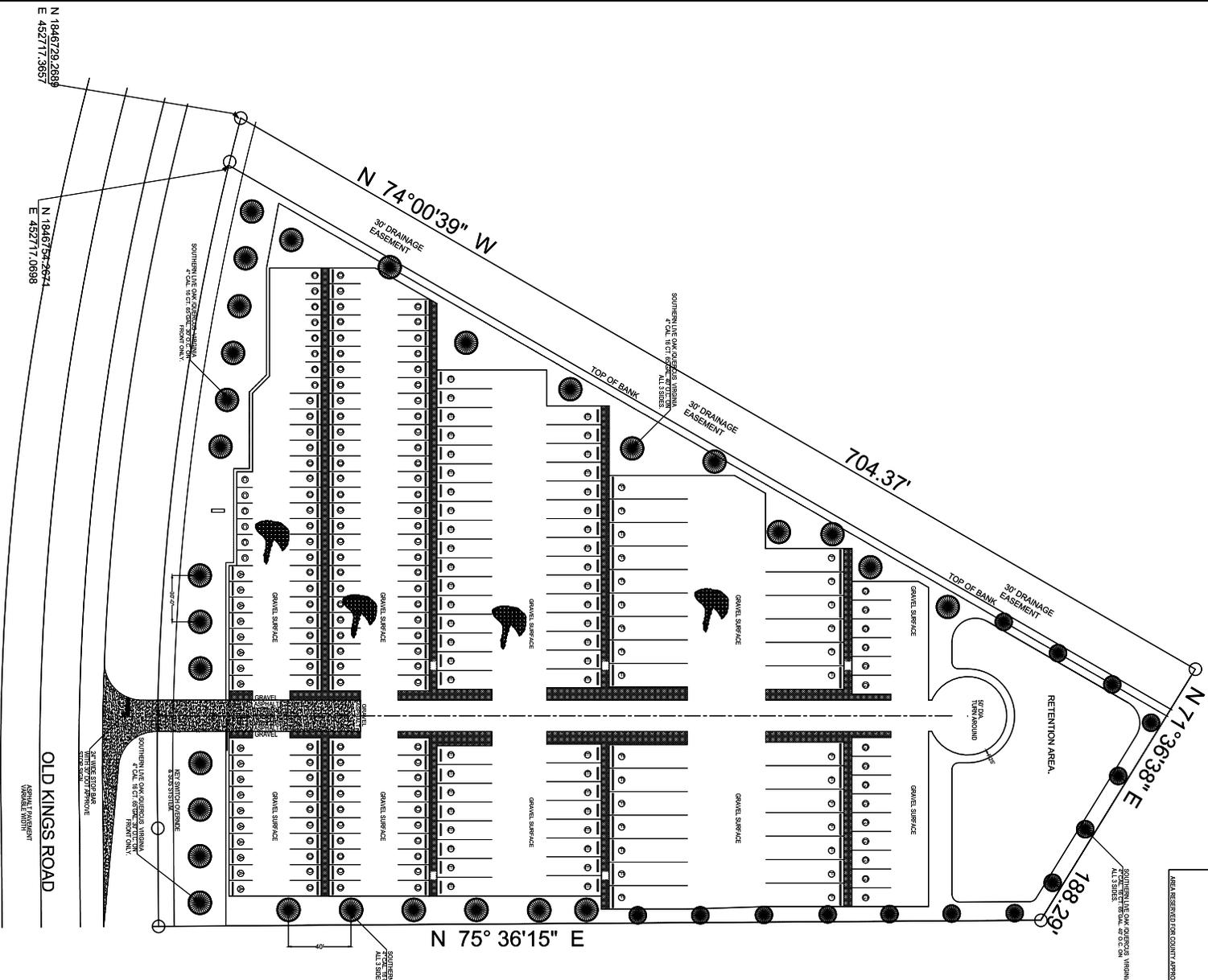
ADDRESS	JOB NO.	SCALE
4290 S. Old Kings Road Flagler County, Florida	Old Kings Rd	1"=50'
CHECKED BY	DATE	REVISION
REV. 1	11-2-23	ISSUED FOR PERMITS
REV. 2		
REV. 3		
		NOTE

This Structure is in "Compliance" with the 7th Edition of the 2020 Florida Building Code including the 2017 (IEC) National electrical code, building code adopted NFPA 70, code and two family dwellings, in chapter 55 of the Florida building code Residential. THE CONTRACTOR HAS REFERENCED TABLE 11

	Tajmir - Davis & Assoc.
	SIGN & SEAL: ENGINEER: PERRY TROINA FL LIC # 36189



DATE RECEIVED FOR COUNTY APPROVAL: 5/28/24



LANDSCAPING Plan

D=14°06'10"
 R=1,860.08'
 L=457.83'
 CH=456.69'
 SO7°20'40"E

PROPOSED RV STORAGE IN OLD KINGS ROAD

ADDRESS	JOB NO.	SCALE
4290 S. Old Kings Road Flagler County, Florida	Old Kings Rd	1"=60'
CHECKED BY	DATE	REVISION
REV. 1	11-2-23	ISSUED FOR PERMITS
REV. 2		
REV. 3		
NOTE:		

This Structure is in "Compliance" with the 7th Edition of the 2020 Florida Building Code including the 2017 (NEC) National electrical code, building code adopted NFPA 70, code and two family dwellings, in chapter 35 of the Florida building code Residential. THE CONTRACTOR HAS REFERENCED TABLE 11

Tajmir - Davis & Assoc.

REGISTERED PROFESSIONAL ENGINEER
 PERRY TROINA
 FL.LIC # 36189

SIGN & SEAL:



Growth Management Department
Planning & Zoning
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110

www.flaglercounty.org

Phone: (386)313-4009

Fax: (386)313-4109



TECHNICAL REVIEW COMMITTEE COMMENTS

DATE: December 18, 2023

Project #: 2023090058 / AR #4389

Attached are departmental comments regarding your submittal to Flagler County for the above referenced project. **Any questions regarding any of the comments should be addressed to the department providing the comment.**

Flagler County Building Department	386-313-4002
Flagler County Planning Department	386-313-4009
Flagler County Development Engineering	386-313-4082
Flagler County General Services (Utilities)	386-313-4184
County Attorney	386-313-4005
Flagler County Fire Services	386-313-4258
E-911 GIS Specialist	386-313-4274
Environmental Health Department	386-437-7358
Flagler County School Board	386-586-2386

Attachment: Staff Comments

Reviewing Department Comments

FD1 - FIRE REVIEW

1. No Comments at this time

EH - ENVIRONMENTAL HEALTH DEPT

1. No objections providing that potable water and/or wastewater service are not provided by well(s) and/or septic system(s).
2. Please note that the amenity center public pool will require an annual operating permit through the Florida Department of Health. Initial application and engineered plans shall be submitted to the Department of Health in Volusia County for engineering review and approval of Initial Operating Permit. Annual operating permit to be obtained through the Department of Health in Flagler County.

ENGIN1 - DEVELOPMENT ENGINEERING (386-313-4082)

Comments:

Rejected By: SUSAN GRAHAM - (386)313-4082 - SGRAHAM@FLAGLERCOUNTY.GOV

TRC Comments 11/15/2023

Application #4387 Project # 2023090058

Brookside @Ormond Station

Preliminary Plat and Construction Drawings.

Previously stated General Notes:

1. The Applicant is to provide technically complete and approved Site Development Plans that comply with the Land Development Code. Existing elevations and proposed grading must be included within the plan. A Plat and associated Plat documents (Engineers Estimate of Cost to Construct, Surety Bonds, and Maintenance Bond) must be submitted.
2. Provide copies of all other agency permits and approvals necessary to complete this project as well as copies of all supporting documents (applications, calculations, geotechnical reports, etc.)
3. Once all the comments have been resolved, submit three (3) sets of complete signed and sealed Site Development Plans, if more than one copy of the approved plan is desired furnish additional copies.
4. Proof of the payment of all fees and Real Estate Taxes must be provided.
5. An Attorney's Opinion of Title must be furnished prior to Preliminary and Final Plat Approval.
6. Prior to submittal of Final Plat documents, they must be reviewed and approved by a reviewing surveyor under contract with the County. This project will be assigned to Goerge F. Young as reviewing surveyor. Prior to the submittal of Final plat documents the applicant should contact the reviewing surveyor regarding the documents required for their review. Contact information is as follows:
George F. Young
3721 NW 40th Terrace STE B,
Gainesville, FI
Phone: (352) 378-1444
8. Prior to project completion approval and issuance of a Certificate of Occupancy an "AS-

BUILT" survey and an Engineer's Certification of Completion must be provided.

9. All provisions of the Flagler County Code must be adhered to. The notes used on the Plat must comply with the Public Works Manual. The Plat must be in the State Plane Coordinate system with ties to two control monuments. The location of driveways must be in accordance with the County's Right of Access Management Ordinance. A separate Site Plan will be required as part of building permit application. Turn lanes and/or deceleration tapers may be required for site entrances.

Plat

10. There will need to be a Joinder and Consent for any/all Mortgages on the property. The Title Opinion indicates a Mortgage, unless the mortgage is satisfied prior to Final Platting the Joinder will need to be shown on the Preliminary plat.

11. The Legal Description should be placed ahead of the Dedications and Reservations.

12. Tract J is shown in two places in the Dedications. Revise as needed.

13. Clarify that Capital Alliance will have all Common Areas Dedicated to them for Miantenance and not an HOA?

14. Tract G shall be called Common Area and is referred to as Tract M as conservation o the construction plans, revise as needed for consistency.

15. Tract M Roadway on the Plat is called Tract O on the construction Plans, revise as needed for consistency.

16. Remove the Street" "reference on the Plat.

17. The east side of the property is Owned by ADJ Iris, LLC., revise as needed.

18. Provide consecutive sheet numbers on the Plat Sheets.

Construction Plans

Make sure the Lots/Tracts etc. are consistent between the Plat PUD and the construction drawings.

1. Provide a legend.

2. Provide the project boundary on the all the cover sheet maps.

3. Call out the roadway names and ROW width of each roadway that the subdivision is connecting to.

4. Call out the roadway Tract and include the width.

5. Call out and label all match lines on all applicable sheets.

6. Provide complete stripping and signage on the plans.

7. There are two Road A's. Clarify.

8. Provide completed grading and removal/replacement notes at the roadway connections to the existing roadways.

9. Why is the profile of Road A stopped at Sta. 101+50 and not extend to the property lines.
10. Provide additional grading around all the retention areas to assure proper drainage. There are areas such as at the entry road from Airport Rd. that need additional grading. Cross sections of the retention ponds through the property line of the lot to ensure that the lots will be graded appropriately.
11. The recreation area will also need to have a site-specific grading. Others shall permit the pool and building but the improvements will be constructed as part of the infrastructure improvements.
12. Provide stormwater calculations.
13. Please add the design NWL and HWL information to the stormwater ponds. Additional comments may be forth coming with additional submittals

ZON - ZONING (386-313-4009)

Comments:

Rejected By: SIMONE KENNY - - SKENNY@FLAGLERCOUNTY.GOV

Plat Comments

1. Tract J and Track K are repeated in dedications.
2. General Note #1 Remove information about Flood Plain as this will change over time.
3. General Note #14. – Setbacks listed do not match PUD agreement or construction documents.
4. PUD Agreement 4.11 states passive recreation will be permitted around drainage tracts, please reference this use in dedications

Construction Document Comments

1. Label Tract M
2. Label Tract A on C006

Growth Management Department
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Brookside @Ormond Station

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9. All provisions of the Flagler County Code must be adhered to. The notes used on the Plat must comply with the Public Works Manual. The Plat must be in the State Plane Coordinate system with ties to two control monuments. The location of driveways must be in accordance with the County's Right of Access Management Ordinance. A separate Site Plan will be required as part of building permit application. Turn lanes and/or deceleration tapers may be required for site entrances.

Plat

10. There will need to be a Joinder and Consent for any/all Mortgages on the property. The Title Opinion indicates a Mortgage, unless the mortgage is satisfied prior to Final Platting the Joinder will need to be shown on the Preliminary plat.

11. The Legal Description should be placed ahead of the Dedications and Reservations.

12. Tract J is shown in two places in the Dedications. Revise as needed.

13. Clarify that Capital Alliance will have all Common Areas Dedicated to them for Miantenance and not an HOA?

14. Tract G shall be called Common Area and is referred to as Tract M as conservation o the construction plans, revise as needed for consistency.

15. Tract M Roadway on the Plat is called Tract O on the construction Plans, revise as needed for consistency.

16. Remove the Street" "reference on the Plat.

17. The east side of the property is Owned by ADJ Iris, LLC., revise as needed.

18. Provide consecutive sheet numbers on the Plat Sheets.

Construction Plans

Make sure the Lots/Tracts etc. are consistent between the Plat PUD and the construction drawings.

1. Provide a legend.

2. Provide the project boundary on the all the cover sheet maps.

3. Call out the roadway names and ROW width of each roadway that the subdivision is connecting to.

4. Call out the roadway Tract and include the width.

5. Call out and label all match lines on all applicable sheets.

6. Provide complete stripping and signage on the plans.

7. There are two Road A's. Clarify.

8. Provide completed grading and removal/replacement notes at the roadway connections to the existing roadways.

9. Why is the profile of Road A stopped at Sta. 101+50 and not extend to the property lines.
10. Provide additional grading around all the retention areas to assure proper drainage. There are areas such as at the entry road from Airport Rd. that need additional grading. Cross sections of the retention ponds through the property line of the lot to ensure that the lots will be graded appropriately.
11. The recreation area will also need to have a site-specific grading. Others shall permit the pool and building but the improvements will be constructed as part of the infrastructure improvements.
12. Provide stormwater calculations.
13. Please add the design NWL and HWL information to the stormwater ponds. Additional comments may be forth coming with additional submittals

ZON - ZONING (386-313-4009)

Comments:

Rejected By: SIMONE KENNY - - SKENNY@FLAGLERCOUNTY.GOV

Plat Comments

1. Tract J and Track K are repeated in dedications.
2. General Note #1 Remove information about Flood Plain as this will change over time.
3. General Note #14. – Setbacks listed do not match PUD agreement or construction documents.
4. PUD Agreement 4.11 states passive recreation will be permitted around drainage tracts, please reference this use in dedications

Construction Document Comments

1. Label Tract M
2. Label Tract A on C006



November 1, 2023

Susan Graham, Development Engineer
Simone Kenny, Development Review Planner
Growth Management Department
Planning & Zoning
1769 E. Moody Blvd, Bldg. 2
Bunnell, FL 32110

RE: Brookside at Ormond Station – Preliminary Plat
Technical Review Committee Comments
Project # 2023090058, AR # 4389

Dear Simone and Susan,

We are in receipt of comments for the referenced project. These comments were received on October 13th, 2023. We have revised our plans and submitted the material below for your review and approval:

- Cover and response letter (this letter)
- Civil Set
- Plat
- Title opinion letter

We offer the following responses to staff comments:

ENGIN1 - DEVELOPMENT ENGINEERING

Susan Graham

General Notes:

1. The Applicant is to provide technically complete and approved Site Development Plans that comply with the Land Development Code. Existing elevations and proposed grading must be included within the plan. A Plat and associated Plat documents (Engineers Estimate of Cost to Construct, Surety Bonds, and Maintenance Bond) must be submitted.

Response: The elevation and grading are included. The plat is enclosed.

2. Provide copies of all other agency permits and approvals necessary to complete this project as well as copies of all supporting documents (applications, calculations, geotechnical reports, etc.)

Response: Agency permits will be provided upon receipt.

3. Once all the comments have been resolved, submit three (3) sets of complete signed and sealed Site Development Plans, if more than one copy of the approved plan is desired furnish additional copies.

Response: Noted.

4. Proof of the payment of all fees and Real Estate Taxes must be provided.

Response: Noted.

5. An Attorney's Opinion of Title must be furnished prior to Preliminary and Final Plat Approval.

Response: The title opinion is enclosed.

6. Prior to submittal of Final Plat documents, they must be reviewed and approved by a reviewing surveyor under contract with the County. This project will be assigned to Goerge F. Young as reviewing surveyor. Prior to the submittal of Final plat documents the applicant should contact the reviewing surveyor regarding the documents required for their review. Contact information is as follows:

George F. Young
3721 NW 40th Terrace STE B, Gainesville, Fl
Phone: (352) 378-1444

Response: Noted.

7. Prior to project completion, approval and issuance of a Certificate of Occupancy an "AS-BUILT" survey and an Engineer's Certification of Completion must be provided.

Response: Noted.

8. All provisions of the Flagler County Code must be adhered to. The notes used on the Plat must comply with the Public Works Manual. The Plat must be in the State Plane Coordinate system with ties to two control monuments. The location of the driveways must be in accordance with the County's Right of Access Management Ordinance. A separate Site Plan will be required as part of the building permit application. Turn lanes and/or deceleration tapers may be required for site entrances.

Response: Noted.

Plat:

9. Provide the Plat for review.

Response: Plat has been provided with this submittal.

Construction Plans:

Make sure the Lots/Tracts etc. are consistent between the Plat PUD and the construction drawings.

10. Provide a legend.

Response: ADDITIONAL TRACTS WERE ADDED TO CONSTRUCTION PLANS, AWAITING REVISED PLAT. A LEGEND SHEET HAS BEEN ADDED.

11. Provide the project boundary on all cover sheet maps.

Response: SITE BOUNDARIES ARE NOW SHOWN ON ALL MAPS ON THE COVER SHEET.

12. Call out the roadway names and ROW width of each roadway that the subdivision is connecting to.

Response: NOTES ADDED.

13. Call out the roadway Tract and include the width.

Response: PRIVATE ROW IS NOW TRACT O.

14. Call out and label all match lines all applicable sheets.

Response: MATCH LINES ADDED TO ALL APPLICABLE SHEETS.

15. Provide completed grading and removal /replacement notes at the roadway connections to the existing roadways.

Response: GRADING AT ROADWAY CONNECTIONS IS FIXED AND NOW MORE DETAILED.

16. There are two Road A's. Clarify.

Response: ROAD A IS A LOOP ROAD

17. Provide completed grading and removal/replacement notes at the roadway connection to the existing roadway.

Response: GRADING AT ROADWAY CONNECTIONS IS FIXED AND NOW MORE DETAILED

18. Why is the profile of Road A stopped at Sta. 101+50 and not extend to the property lines.

Response: PROPERTY LINES ARE NOW SHOWN IN PROFILES.

19. Provide additional grading around all the retention areas to assure proper drainage.

There are areas such as the entry road from Airport Rd. that need additional grading. Cross sections of the retention ponds through the property line of the lot to ensure that the lots will be graded appropriately.

Response: SECTION VIEWS HAVE BEEN ADDED.

20. The recreation area will also need to have a site-specific grading. Others shall permit the pool and building but the improvements will be constructed as part of the infrastructure improvements.

Response: ADDITIONAL INFRASTRUCTURE DETAIL HAS BEEN ADDED TO THE REC SITE.

21. Provide stormwater calculations.

Response: PROVIDED

22. Please add the design NWL and HWL information to the stormwater ponds.

Response: THEY ARE ON THE OVERALL UTILITY PLAN AND IN THE STORMWATER CALCS

ZON - ZONING

Simone Kenny

1. No plat submitted, unable to complete review.

EH – ENVIRONMENTAL HEALTH DEPARTMENT

1. No objections providing that potable water and/or wastewater service are not provided by well(s) and/or septic system(s).
2. Please note that the amenity center public pool will require an annual operating permit through the Florida Department of Health. Initial application and engineered plans shall be submitted to the Department of Health in Volusia County for engineering review and approval of Initial Operating Permit. Annual operating permit to be obtained through the Department of Health in Flagler County.

Should you have any questions or require additional information, please advise.

Sincerely,
The Alann Engineering Group, Inc.



Kimberly A. Buck, P.E.
President

cc: File

BOOKER & ASSOCIATES, P.A.
ATTORNEYS AT LAW

KIM C. BOOKER
kbooker@bookerandassoc.com

GISSELLE CALDERON-CRUZ
GisselleC@bookerandassoc.com

1019 TOWN CENTER DRIVE, SUITE 201
ORANGE CITY, FLORIDA 32763
PHONE (386) 774-6552
FAX (386) 774-5997

October 27, 2023

TITLE OPINION PURSUANT TO SECTION 177.041, FLORIDA STATUTES

ST. JOHNS RIVER WATER
MANAGEMENT DISTRICT
4049 Reid Street
Palatka, Florida 32177-2571

Re: Brookside
Opinion of Title

Dear Sir/Madam:

I have examined the title to the real property reflected on Exhibit "A" attached hereto and incorporated by this reference ("Property"). I am of the opinion that the fee simple title to the subject Property is held by US Capital Alliance, LLC, a Florida limited liability company (collectively referred to "US Capital"), in good standing, by virtue of that certain Warranty Deed recorded in Official Records Book 2116, Page 1079, Public Records of Flagler County, Florida.

The Property is encumbered by a mortgage in favor of Metropolitan Partners Group Administration, LLC, which must be partially released. The mortgage information is as follows:

1. Mortgage and Security Agreement, dated April 15, 2021, and recorded on April 21, 2021 in Official Records Book 2553, Page 1411, in the Public Records of Flagler County, Florida.
2. Assignment of Rents and Leases recorded on April 21, 2021, in Official Records Book 2553, Page 1444, in the Public Records of Flagler County, Florida.
3. Memorandum of Contract in favor of D.R. Horton, Inc., a Delaware corporation, in Official Records Book 2648, Page 32, in the Public Records of Flagler County, Florida.

As to any permitted exceptions, the Property shall be subject to the following Exceptions:

1. Any minerals or mineral rights leased, granted or retained by current or prior owners.
2. Taxes and assessments for the year 2023 and subsequent years, which are not yet due and payable.

3. Oil, gas and mineral reservations contained in Deed from Tomoka Land Company, a corporation, recorded in Deed Book 36, Page 79, as affected by Notice of Claim recorded in Book 69, Page 229, Warranty Deed recorded in Book 1174, Page 917, Special Warranty Deed recorded in Book 2595, Page 1590 and Quit Claim Deed recorded in Book 2807, Page 761, in the Public Records of Flagler County, Florida.

4. Resolution No. 2010-61 as recorded in Book 1803, Page 648, amending and replacing Resolution No. 90-3A recorded in Book 423, Page 669, Notice of Adoption of Development Order recorded in Book 455, Page 1019 and Amendment recorded in Book 465, Page 1466; as affected by Resolution No. 2021-66 recorded in 2631, Page 556, Resolution No. 2022-31 recorded in Book 2700, Page 923 and Resolution No. 2023-18 recorded in Book 2764, Page 762, in the Public Records of Flagler County, Florida.

5. Retail Water and Wastewater Service Agreement as set forth in instrument recorded in Book 1748, Page 696, in the Public Records of Flagler County, Florida.

6. Interlocal Agreements as set forth in instrument recorded in Book 2017, Page 1732 and Book 2247, Page 670, in the Public Records of Flagler County, Florida.

7. Non-Exclusive Drainage, Stormwater and Utility Easement recorded in Book 2180, Page 1317, in the Public Records of Flagler County, Florida.

8. Notice of Establishment of the Hunter's Ridge Oaks Community Development District No. 1 recorded in Book 2191, Page 1731, as affected by Ordinance No. 2022-09 dissolving the Hunter's Ridge Oaks Community Development District No. 1 recorded in Book 2694, Page 1528, in the Public Records of Flagler County, Florida.

9. Retail Utility Service Agreement as set forth in instrument recorded in Book 2253, Page 502, in the Public Records of Flagler County, Florida.

10. Easement Agreement as set forth in instrument recorded in Book 2780, Page 892, in the Public Records of Flagler County, Florida.

11. Rights of the public in and to any roads and trail roads crossing captioned property.

12. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).

This opinion shall be certified through October 24, 2023 at 8:00 a.m. If you have any questions regarding this matter, please do not hesitate to give me a call.

Sincerely,

Booker & Associates, P.A.

A handwritten signature in blue ink, appearing to read 'KCB', followed by a horizontal line extending to the right.

By: _____
Kim C. Booker, Attorney at Law

KCB:mrm

Attachment

cc: US Capital Alliance, LLC

EXHIBIT "A"

The Land referred to herein below is situated in the County of FLAGLER, State of Florida, and is described as follows:

A PARCEL OF LAND SITUATED IN SECTIONS 21 & 22, TOWNSHIP 14 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 21, SAID POINT ALSO BEING THE NORTHWEST CORNER OF SAID SECTION 22, THENCE SOUTH 01°08'50" EAST, ALONG THE EAST LINE OF SAID SECTION 21 AND ALONG THE WEST LINE OF SAID SECTION 22, A DISTANCE OF 1560.73 FEET; THENCE DEPARTING THE EAST LINE OF SAID SECTION 21 AND THE WEST LINE OF SECTION 22, SOUTH 55°04'07" WEST, A DISTANCE OF 4.14 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 3345.00 FEET, SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 45°53'53" EAST A DISTANCE OF 761.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 13°04'33", AN ARC DISTANCE OF 763.38 FEET TO THE BEGINNING OF A COMPOUND CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 960.00 FEET AND BEING SUBTENDED BY A CHORD HAVING A BEARING AND DISTANCE OF SOUTH 37°06'11" EAST, 75.62 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 4°30'51", AN ARC LENGTH OF 75.64 FEET TO THE END OF SAID CURVE; THENCE SOUTH 34°50'46" EAST, A DISTANCE OF 381.72 FEET; THENCE SOUTH 55°09'14" WEST, A DISTANCE OF 38.05 FEET; THENCE SOUTH 34°50'46" EAST, A DISTANCE OF 35.00 FEET; THENCE NORTH 55°09'14" EAST, A DISTANCE OF 30.69 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 32.00 FEET AND BEING SUBTENDED BY A CHORD HAVING A BEARING AND DISTANCE OF SOUTH 24°54'33" WEST, 22.01 FEET, THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 40°13'29", AN ARC LENGTH OF 22.47 FEET TO THE TO THE NORTHERLY RIGHT OF WAY LINE OF AIRPORT ROAD (HAVING A RIGHT OF WAY WIDTH OF 100 FEET AS SHOWN ON THE PLAT OF AIRPORT ROAD EXTENSION, AS RECORDED IN MAP BOOK 38, PAGES 55 AND 56 OF THE PUBLIC RECORDS OF SAID COUNTY); THENCE SOUTH 55°10'15" WEST, ALONG SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 1766.37 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 2800.00 FEET AND BEING SUBTENDED BY A CHORD HAVING A BEARING AND DISTANCE OF SOUTH 53°42'31" WEST, 142.92 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID NORTHERLY RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 2°55'30", AN ARC LENGTH OF 142.94 FEET TO THE EASTERLY BOUNDARY LINE OF THE LANDS DESCRIBED AS PARCEL A IN OFFICIAL RECORDS BOOK 2203, PAGES 1431 THROUGH 1437 OF SAID PUBLIC RECORDS; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE AND ALONG SAID EASTERLY BOUNDARY LINE THROUGH THE FOLLOWING FOUR COURSES: 1) NORTH 33°13'30" WEST, A DISTANCE OF 538.90 FEET; 2) THENCE NORTH 1°53'28" EAST, A DISTANCE OF 234.10 FEET; 3) THENCE NORTH 63°42'03" WEST, A DISTANCE OF 226.21 FEET; 4) THENCE NORTH 32°58'07" WEST, A DISTANCE OF 327.35 FEET; THENCE DEPARTING SAID EASTERLY BOUNDARY LINE NORTH 55°04'07" EAST, A DISTANCE OF 1729.78 FEET TO THE POINT OF BEGINNING.

CERTIFICATE OF APPROVAL BY COUNTY COMMISSION OF FLAGLER COUNTY, FLORIDA:
THIS IS TO CERTIFY, THAT ON THE _____ DAY OF _____, 20____,
THE FOREGOING PLAT WAS APPROVED BY THE COUNTY COMMISSION OF FLAGLER COUNTY, FLORIDA.

BOARD OF COUNTY COMMISSIONERS OF
FLAGLER COUNTY, FLORIDA

BY: _____
CHAIRMAN

ATTEST: _____
CLERK AND EX-OFFICIO CLERK OF THE BOARD

CERTIFICATE OF CLERK:
I HEREBY CERTIFY, THAT THE FOREGOING PLAT WAS FILED FOR RECORDS ON THE _____ DAY OF _____, 20____.

BY: _____
CLERK AND EX-OFFICIO CLERK OF THE BOARD OF COUNTY
COMMISSIONARIES OF FLAGLER COUNTY, FLORIDA

CERTIFICATE OF APPROVAL :
THIS IS TO CERTIFY THAT ON _____ DAY OF _____, 20____, THE FOREGOING PLAT WAS APPROVED.

BY: _____
COUNTY ATTORNEY/DEPUTY

GROWTH MANAGEMENT DIRECTOR:
THIS IS TO CERTIFY THAT ON _____ DAY OF _____, 20____, THE FOREGOING PLAT WAS APPROVED.

BY: _____
GROWTH MANAGEMENT DIRECTOR

CERTIFICATE OF REVIEW:
I HEREBY CERTIFY THAT THE UNDERSIGNED IS A LICENSED PROFESSIONAL SURVEYOR AND MAPPER AND IS EITHER EMPLOYED OR UNDER CONTRACT WITH FLAGLER COUNTY. I ALSO CERTIFY THAT I AM NOT REPRESENTING THE OWNER OF OWNERS RECORD AND REVIEWED THIS PLAT AND FOUND IT TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES AND FLAGLER COUNTY PLATTING REGULATIONS.

DATE: _____ BY: _____
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
CERTIFICATE NO. _____

CERTIFICATE OF SURVEYOR:
THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT THE PERMANENT REFERENCE MONUMENTS ("P.R.M.'S") AND PERMANENT CONTROL POINTS ("P.C.P.'S") WILL BE PLACED AS REQUIRED BY LAW; AND FURTHER, THAT THE SURVEY DATA COMPLIES WITH ALL REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND ORDINANCES OF FLAGLER COUNTY, FLORIDA.

BY: _____ DATED: _____
FRED M. FRANKLIN
PROFESSIONAL SURVEYOR AND MAPPER LICENSE NO. LS 7129

TITLE CERTIFICATION
STATE OF _____
COUNTY OF _____

I, _____, P.A. A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE HEREON DESCRIBED PROPERTY; THAT I FIND THE TITLE OF THE PROPERTY IS VESTED TO U.S. CAPITAL ALLIANCE, LLC; THAT THE CURRENT TAXES HAVE BEEN PAID; AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED BY THIS PLAT.

DATED: _____

IN WITNESS WHEREOF, US CAPITAL ALLIANCE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, LICENSED TO DO BUSINESS IN THE STATE OF FLORIDA, HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS MANAGER, _____, THIS _____ DAY OF _____, 20____.

US CAPITAL ALLIANCE, LLC
A FLORIDA LIMITED LIABILITY COMPANY
LICENSED TO DO BUSINESS IN FLORIDA

BY: _____ (WITNESS) _____ (WITNESS)

ATTEST: _____ DATE: _____
(TITLE) (PRINT NAME) (PRINT NAME) (PRINT NAME)

ACCEPTANCE OF RESERVATIONS:
THE HUNTERS RIDGE HOMEOWNERS ASSOCIATION OF EAST FLORIDA, INC., HEREBY ACCEPTS THE DEDICATION OR RESERVATIONS TO SAID ASSOCIATION AS STATED AND SHOWN HEREON, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREON, DATED THIS _____ DAY OF _____, 20____.

HUNTERS RIDGE HOMEOWNERS ASSOCIATION OF EAST FLORIDA, INC.

BY: _____ SIGNATURE TITLE PRINT NAME

WITNESS PRINT NAME

WITNESS PRINT NAME

ACKNOWLEDGMENTS
STATE OF _____
COUNTY OF _____

BEFORE ME PERSONALLY APPEARED _____ WHO IS PERSONALLY KNOWN TO ME, OR HAVE PRODUCED _____ AS IDENTIFICATION AND WHO EXECUTED THE FOREGOING INSTRUMENT AS MANAGER OF US ALLIANCE CAPITAL ALLIANCE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT _____ EXECUTED SUCH INSTRUMENT AS SUCH OFFICER OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE SEAL OF SAID LIMITED LIABILITY COMPANY AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY DUE AND REGULAR COMPANY AUTHORITY AND THAT INSTRUMENT IS THE FREE ACT OF SAID COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC (SEAL)

OWNER: US CAPITAL ALLIANCE, LLC
A FLORIDA LIMITED LIABILITY COMPANY
LICENSED TO DO BUSINESS IN FLORIDA
882 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FLORIDA 32174

PLAT OF
BROOKSIDE
A PORTION OF SECTIONS 21 AND SECTION 22,
TOWNSHIP 14 SOUTH, RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

DEVELOPED BY:
US CAPITAL ALLIANCE, LLC
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FLORIDA 32174

DEDICATION AND RESERVATION:
KNOW ALL MEN BY THESE PRESENTS THAT US CAPITAL ALLIANCE, LLC A FLORIDA LIMITED LIABILITY COMPANY, LICENSED TO DO BUSINESS IN FLORIDA, OWNER OF THE LAND SHOWN HEREON, BEING IN SECTION 21, TOWNSHIP 14 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, SHOWN HEREON AS BROOKSIDE, HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE SAID LANDS AND PLAT FOR THE USES AND PURPOSES HEREIN EXPRESSED AND MORE SPECIFICALLY AS FOLLOWS:

DESCRIPTION:
A PARCEL OF LAND SITUATED IN SECTIONS 21 & 22, TOWNSHIP 14 SOUTH RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 21 SAID POINT ALSO BEING THE NORTHWEST CORNER OF SAID SECTION 22, THENCE SOUTH 01°08'50" EAST, ALONG THE EAST LINE OF SAID SECTION 21 AND ALONG THE WEST LINE OF SAID SECTION 22, A DISTANCE OF 1560.73 FEET; THENCE DEPARTING THE EAST LINE OF SAID SECTION 21 AND THE WEST LINE OF SAID SECTION 22, SOUTH 55°04'07" WEST, A DISTANCE OF 4.14 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 3345.00 FEET, SUBTENDED BY A CHORD BEARING AND DISTANCE OF: S 45°33'53" E A DISTANCE OF 761.72 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 13°04'33", AN ARC DISTANCE OF 763.38 FEET TO THE BEGINNING OF A COMPOUND CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 960.00 FEET AND BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 37°09'11" EAST, 75.62 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 4°30'51", AN ARC LENGTH OF 75.64 FEET TO THE END OF SAID CURVE; THENCE SOUTH 34°50'46" EAST, A DISTANCE OF 381.72 FEET; THENCE SOUTH 55°09'14" WEST, A DISTANCE OF 38.05 FEET; THENCE SOUTH 34°50'46" EAST, A DISTANCE OF 35.30 FEET; THENCE NORTH 55°09'14" EAST, A DISTANCE OF 38.05 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 32.00 FEET AND BEING SUBTENDED BY A CHORD HAVING A BEARING AND DISTANCE OF SOUTH 24°54'33" WEST, 22.01 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 40°13'29", AN ARC LENGTH OF 22.47 FEET TO THE TO THE NORTHERLY RIGHT OF WAY LINE OF AIRPORT ROAD (HAVING A RIGHT OF WAY WIDTH OF 100 FEET AS SHOWN ON THE PLAT OF AIRPORT ROAD EXTENSION, AS RECORDED IN MAP BOOK 38, PAGES 55 AND 56 OF THE PUBLIC RECORDS OF SAID COUNTY); THENCE SOUTH 55°10'15" WEST, ALONG SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 1766.37 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 2800.00 FEET AND BEING SUBTENDED BY A CHORD HAVING A BEARING AND DISTANCE OF SOUTH 53°42'31" WEST, 142.92 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID NORTHERLY RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 2°55'30", AN ARC LENGTH OF 142.94 FEET TO THE EASTERLY BOUNDARY LINE OF THE LANDS DESCRIBED AS PARCEL A IN OFFICIAL RECORDS BOOK 2203, PAGES 1431 THROUGH 1437 OF SAID PUBLIC RECORDS; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE AND ALONG SAID EASTERLY BOUNDARY LINE THROUGH THE FOLLOWING FOUR COURSES: 1) NORTH 33°13'30" WEST, A DISTANCE OF 538.90 FEET; 2) THENCE NORTH 1°53'28" EAST, A DISTANCE OF 234.10 FEET; 3) THENCE NORTH 63°42'03" WEST, A DISTANCE OF 226.21 FEET; 4) THENCE NORTH 32°58'07" WEST, A DISTANCE OF 327.35 FEET; THENCE DEPARTING SAID EASTERLY BOUNDARY LINE NORTH 55°04'07" EAST, A DISTANCE OF 1729.78 FEET TO THE POINT OF BEGINNING.

HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE SAID LANDS AND PLAT FOR THE USES AND PURPOSES HEREIN EXPRESSED AND MORE SPECIFICALLY AS FOLLOWS:
TRACT G COMMON AREA, TRACT H COMMON AREA, TRACT I COMMON AREA, TRACT J RECREATION AREA AND TRACT K MAIL KIOSK, AS SHOWN HEREON, ARE HEREBY DEDICATED TO US CAPITAL ALLIANCE, LLC, ITS SUCCESSORS AND ASSIGNS, FOR PRIVATE INGRESS, EGRESS, STORMWATER MANAGEMENT, DRAINAGE, CONSERVATION AND OTHER PURPOSES NOT INCONSISTENT WITH THIS RESERVATION AND IS THE PERPETUAL MAINTENANCE OBLIGATION OF SAID LLC, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO FLAGLER COUNTY.

TRACT A DRAINAGE, TRACT B DRAINAGE, TRACT C DRAINAGE, TRACT D DRAINAGE, TRACT E ACCESS / DRAINAGE EASEMENT AND TRACT F ACCESS / DRAINAGE, AS SHOWN HEREON, IS HEREBY DEDICATED TO THE HUNTERS RIDGE HOMEOWNERS ASSOCIATION OF EAST FLORIDA, INC. ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO FLAGLER COUNTY.
TRACT M RIGHT OF WAY, AS SHOWN HEREON, IS A PRIVATE ROADWAY TRACT AND IS DEDICATED TO THE HUNTERS RIDGE HOMEOWNERS ASSOCIATION OF EAST FLORIDA, INC., ITS SUCCESSORS AND ASSIGNS FOR A PRIVATE ROAD WITH PERPETUAL, NON-EXCLUSIVE PUBLIC ACCESS SUBJECT TO THE SIMULTANEOUS DEDICATION OF THE ROADWAY TRACT OF SUCH ROADS AND THROUGHWAYS FOR PUBLIC AND UTILITY PURPOSES, WHICH DEDICATION IS HEREBY MADE. SIDEWALKS WITHIN SAID TRACT ARE TO BE MAINTAINED BY THE HUNTERS RIDGE HOMEOWNERS ASSOCIATION OF EAST FLORIDA, INC., ITS SUCCESSORS AND OR ASSIGNS.

TRACT J RECREATION AREA, TRACT K MAIL KIOSK AND TRACT L SIGN TRACT ARE HEREBY RESERVED FOR THE HUNTERS RIDGE HOMEOWNERS ASSOCIATION OF EAST FLORIDA, INC., ITS SUCCESSORS AND ASSIGNS AND SHALL BE OWNED AND MAINTAINED BY THE HUNTERS RIDGE HOMEOWNERS ASSOCIATION OF EAST FLORIDA, INC.

IN WITNESS WHEREOF, THE ABOVE-NAMED CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS _____ AND ITS CORPORATE SEAL TO BE AFFIXED HERETO BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS, _____ DAY OF _____, 20____.

BY: US CAPITAL ALLIANCE, LLC A FLORIDA LIMITED LIABILITY COMPANY

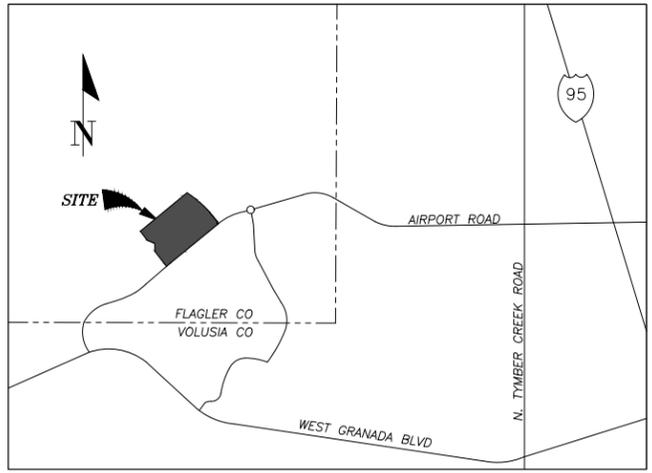
BY: _____	_____	_____
SIGNATURE	TITLE	PRINT NAME
_____	_____	_____
WITNESS	_____	PRINT NAME
_____	_____	_____
WITNESS	_____	PRINT NAME

- LEGEND:**
- = SET 1/2" REBAR & CAP, LB. 8326
 - △ = SET NAIL & DISK, LB 8326
 - = FOUND 4"x4" CONCRETE MONUMENT MARKED AS NOTED
 - = FOUND 1/2" REBAR & CAP MARKED "LB 7248"
 - B.F.E. = BASE FLOOD ELEVATION
 - B.S.L. = BUILDING SETBACK LINE
 - M.F.F. = MINIMUM FINISHED FLOOR ELEVATION
 - CM = CONCRETE MONUMENT
 - FEMA = FEDERAL EMERGENCY MANAGEMENT AGENCY
 - F.I.R.M. = FLOOD INSURANCE RATE MAP
 - FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION
 - FIP = FOUND IRON PIPE
 - FIR = FOUND IRON ROD
 - FND = FOUND
 - ID = IDENTIFICATION
 - ISAGA = ITS SUCCESSORS AND/OR ASSIGNS
 - ATMA = AS THEIR INTEREST MAY APPEAR
 - LB = LICENSED BUSINESS
 - NAVD = NORTH AMERICAN VERTICAL DATUM
 - O.R.B. = OFFICIAL RECORDS BOOK
 - PC = POINT OF CURVATURE
 - PT = POINT OF TANGENCY
 - PI = POINT OF INTERSECTION
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - P.O.R. = POINT OF REFERENCE
 - PLS = PROFESSIONAL LAND SURVEYOR
 - PRM = PERMANENT REFERENCE MARKER
 - PSM = PROFESSIONAL SURVEYOR AND MAPPER
 - P.U.E. = PUBLIC UTILITIES EASEMENT
 - R/W = RIGHT OF WAY
 - S.F. = SQUARE FEET
 - T.P. = TAX PARCEL

- GENERAL NOTES:**
- THE PLATTED LANDS LIE WITHIN FLOOD ZONE "X" ACRESCORDING TO COMMUNITY PANEL NUMBER 12035C0345E, DATED JUNE 6, 2018 OF THE FLOOD INSURANCE RATE MAP FOR FLAGLER COUNTY, FLORIDA.
 - BEARINGS SHOWN HEREON ARE REFERENCED TO FLORIDA EAST COORDINATE ZONE (NAD 83).
 - LOT LINES SHOWN HEREIN ARE RADIAL UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE NOTED MEASUREMENTS ARE IN U.S. FOOT AND DECIMAL PARTS THEREOF. ALL MEASUREMENTS REFER TO HORIZONTAL PLANE IN ACRESCORDANCE WITH THE DEFINITION OF THE UNITED STATES SURVEY FOOT OR METER ADOPTED BY THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY. ALL MEASUREMENTS SHALL USE THE 39.37112-3-200803333333 EQUATION FOR CONVERSION FROM U.S. FEET TO METERS.
 - ALL PLATTED EASEMENTS, EXCLUSIVE OF PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY, SHALL ALSO BE EASEMENTS FOR CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; HOWEVER NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. THE FOLLOWING EXCEPTIONS WERE LISTED IN THE PROVIDED TITLE OPINION BY BOOKER & ASSOCIATES, P.A., DATED OCTOBER 27, 2023:

- ITEM # 3: OIL, GAS AND MINERAL RESERVATIONS CONTAINED IN DEED FROM TOMOKA LAND COMPANY, A CORPORATION, RECORDED IN DEED BOOK 36, PAGE 79, AS AFFECTED BY NOTICE OF CLAIM RECORDED IN BOOK 69, PAGE 229, WARRANTY DEED RECORDED IN BOOK 1174, PAGE 917, SPECIAL WARRANTY DEED RECORDED IN BOOK 2595, PAGE 1590 AND QUIT CLAIM DEED RECORDED IN BOOK 2807, PAGE 761, IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- ITEM # 4: RESOLUTION NO. 2018-61 AS RECORDED IN BOOK 1803, PAGE 648, AMENDING AND REPLACING RESOLUTION NO. 90-34 RECORDED IN BOOK 423, PAGE 669, NOTICE OF ADOPTION OF DEVELOPMENT ORDER RECORDED IN BOOK 455, PAGE 1019 AND AMENDMENT RECORDED IN BOOK 485, PAGE 1466; AS AFFECTED BY RESOLUTION NO. 2021-66 RECORDED IN 2631, PAGE 558, RESOLUTION NO. 2022-31 RECORDED IN BOOK 2700, PAGE 923 AND RESOLUTION NO. 2023-18 RECORDED IN BOOK 2764, PAGE 762, IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- ITEM # 5: RETAIL WATER AND WASTEWATER SERVICE AGREEMENT AS SET FORTH IN INSTRUMENT RECORDED IN BOOK 1748, PAGE 696, IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- ITEM # 6: INTERLOCAL AGREEMENTS AS SET FORTH IN INSTRUMENT RECORDED IN BOOK 2017, PAGE 1732 AND BOOK 2247, PAGE 670, IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- ITEM # 7: NON-EXCLUSIVE DRAINAGE, STORMWATER AND UTILITY EASEMENT RECORDED IN BOOK 2180, PAGE 1317, IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- ITEM # 8: NOTICE OF ESTABLISHMENT OF THE HUNTER'S RIDGE OAKS COMMUNITY DEVELOPMENT DISTRICT NO. 1 RECORDED IN BOOK 2191, PAGE 1731, AS AFFECTED BY ORDINANCE NO. 2022-09 DISSOLVING THE HUNTER'S RIDGE OAKS COMMUNITY DEVELOPMENT DISTRICT NO. 1 RECORDED IN BOOK 2694, PAGE 1528, IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- ITEM # 9: RETAIL UTILITY SERVICE AGREEMENT AS SET FORTH IN INSTRUMENT RECORDED IN BOOK 2253, PAGE 502, IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- ITEM # 10: EASEMENT AGREEMENT AS SET FORTH IN INSTRUMENT RECORDED IN BOOK 2780, PAGE 892, IN THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.

- IN THOSE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS OR OTHERWISE COINCIDE, CONSERVATION EASEMENTS SHALL HAVE FIRST PRIORITY, DRAINAGE EASEMENTS SHALL HAVE SECOND PRIORITY, AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING DETERMINED BY THE USE RIGHTS GRANTED.
- THIS PLAT, AS RECORDED IN GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBES HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- COORDINATES SHOWN HEREON REFER TO THE TRANSVERSE MERCATOR GRID SYSTEM (STATE PLANE) OF THE EAST ZONE OF FLORIDA (0901), 1983 NORTH AMERICAN DATUM (NAD 83), AND DERIVED FROM NATIONAL GEODETIC SURVEY DESIGNATION 79 90 GRS 4" WITH PUBLISHED COORDINATES OF: NORTHING 1,789,282.64, EASTING 604,434.60 WITH A SCALE FACTOR OF 0.9999424 AND "014" WITH PUBLISHED COORDINATES OF: NORTHING 1,803,270.89, EASTING 597,558.82 WITH A SCALE FACTOR OF 0.99994511 (BOTH SHOWN HEREON); ALL DISTANCES SHOWN HEREON ARE IN U.S. FEET AS MEASURED FROM GROUND DISTANCES.
- ALL OTHER EASEMENTS SUBORDINATE TO ANY CONSERVATION EASEMENTS GRANTED HEREON AND IN ACRESCORDANCE WITH FLORIDA STATUTE 704.06, THERE SHALL BE NO REMOVAL OR DISTURBANCE OF ANY VEGETATION WITHIN SUCH CONSERVATION EASEMENTS, ANY PROPOSED CONSTRUCTION OR OTHER USE WITHIN A CONSERVATION EASEMENT MUST BE REVIEWED AND APPROVED BY THE COUNTY OF FLAGLER AND ANY OTHER AUTHORITY HAVING JURISDICTION OVER THE CONSERVATION EASEMENT.
- MONUMENTS SHALL BE SET AT ALL LOT CORNERS UPON COMPLETION OF ALL REQUIRED SUBDIVISION IMPROVEMENTS AT DEVELOPERS EXPENSE PER FLORIDA STATUTE 177.09 (9).
- THIS PLAT IS SUBJECT TO ORDINANCE NO _____ DESIGNATING THE CELEBRITY PLANNED UNIT DEVELOPMENT (PUD) RECORDED IN OFFICIAL RECORDS BOOK _____, PAGE _____, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA.
- UNLESS OTHERWISE SHOWN, BUILDING SETBACKS ARE AS FOLLOWS:
FRONT - 25'
SIDE - 12.5'
REAR - 20'



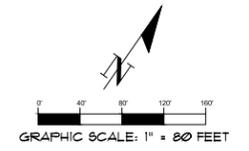
VICINITY MAP
NOT TO SCALE

- THIS PLAT PREPARED BY -

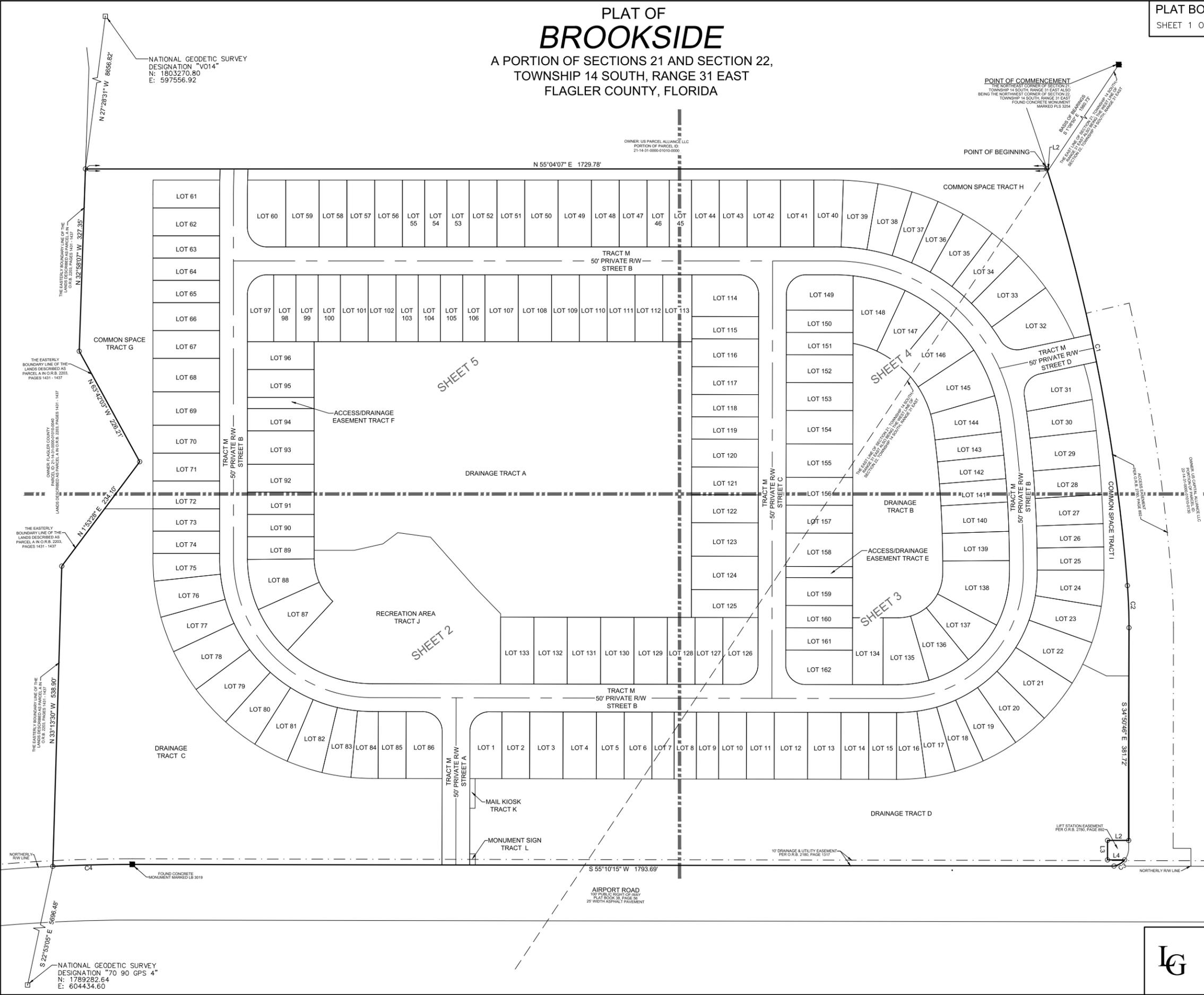
LANDGARD, LLC
LAND SURVEYING & MAPPING
10065 N.W. 136TH DRIVE
ALACHUA, FLORIDA 32615
PHONE: 352.493.0640
Licensed Business No. 8326

PLAT OF BROOKSIDE

A PORTION OF SECTIONS 21 AND SECTION 22,
TOWNSHIP 14 SOUTH, RANGE 31 EAST
FLAGLER COUNTY, FLORIDA



DEVELOPED BY:
US CAPITAL ALLIANCE, LLC
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FLORIDA 32174



NATIONAL GEODETIC SURVEY
DESIGNATION "V014"
N: 1803270.80
E: 597556.92

OWNER: US PARCEL ALLIANCE, LLC
PORTION OF PARCEL ID:
21-14-31-0000-01010-0000

POINT OF COMMENCEMENT
THE NORTHEAST CORNER OF SECTION 21,
TOWNSHIP 14 SOUTH, RANGE 31 EAST ALSO
BEING THE NORTHWEST CORNER OF SECTION 22,
TOWNSHIP 14 SOUTH, RANGE 31 EAST
FOUND CONCRETE MONUMENT
MARKED PLUS 3294.

THE EASTERLY BOUNDARY LINE OF THE
LANDS DESCRIBED AS PARCEL A IN O.R.B. 2203,
PAGES 1431 - 1437

THE EASTERLY BOUNDARY LINE OF THE
LANDS DESCRIBED AS PARCEL A IN O.R.B. 2203,
PAGES 1431 - 1437

THE EASTERLY BOUNDARY LINE OF THE
LANDS DESCRIBED AS PARCEL A IN O.R.B. 2203,
PAGES 1431 - 1437

THE EASTERLY BOUNDARY LINE OF THE
LANDS DESCRIBED AS PARCEL A IN O.R.B. 2203,
PAGES 1431 - 1437

NATIONAL GEODETIC SURVEY
DESIGNATION "70 90 GPS 4"
N: 1789282.64
E: 604434.60

NOTE:
BASED UPON EXAMINATION OF FLOOD INSURANCE RATE MAP
FIRM NUMBER 220800000E, EFFECTIVE DATE JUNE 8, 2016,
FLAGLER COUNTY, FLORIDA, THIS PROPERTY LIES IN ZONE "X".
AREAS DESIGNATED TO BE OUTSIDE THE 2% ANNUAL
FLOOD FLOODPLAIN AND IN ZONE "X", WITHOUT A BASE
FLOOD ELEVATION.

OWNER: US CAPITAL ALLIANCE, LLC
PORTION OF PARCEL ID:
22-14-31-0000-01010-0000

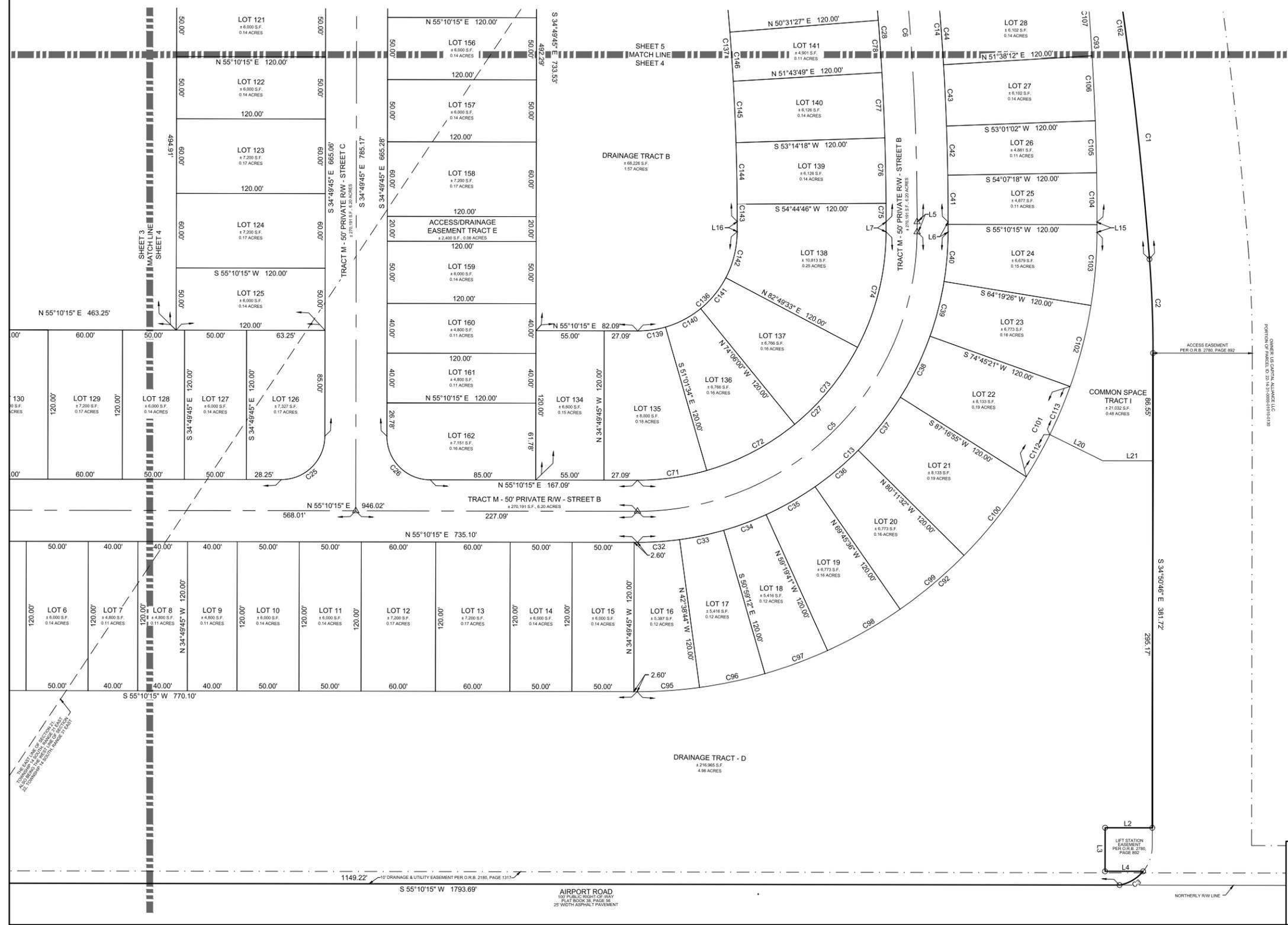
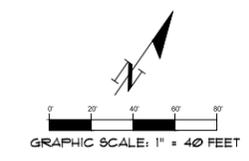
- THIS PLAT PREPARED BY -

LG LANDGARD, LLC
LAND SURVEYING & MAPPING
10065 N.W. 136TH DRIVE
ALACHUA, FLORIDA 32615
PHONE: 352.493.0640
Licensed Business No. 8326

PLAT OF BROOKSIDE

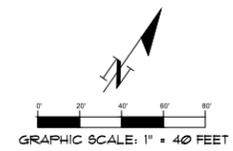
A PORTION OF SECTIONS 21 AND SECTION 22,
TOWNSHIP 14 SOUTH, RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

DEVELOPED BY:
US CAPITAL ALLIANCE, LLC
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FLORIDA 32174



- THIS PLAT PREPARED BY -
LANDGARD, LLC
LAND SURVEYING & MAPPING
10065 N.W. 136TH DRIVE
ALACHUA, FLORIDA 32615
PHONE: 352.493.0640
Licensed Business No. 8326





DEVELOPED BY:
US CAPITAL ALLIANCE, LLC
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FLORIDA 32174

PLAT OF
BROOKSIDE
A PORTION OF SECTIONS 21 AND SECTION 22,
TOWNSHIP 14 SOUTH, RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

OWNER: US PARCEL ALLIANCE LLC
PORTION OF PARCEL ID: 21-14-31-0000-01010-0000



THE EASTERLY BOUNDARY LINE OF THE LANDS DESCRIBED IN PARCELS A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

SHEET 6
MATCH LINE
SHEET 3

- THIS PLAT PREPARED BY -
LANDGARD, LLC
LAND SURVEYING & MAPPING
10065 N.W. 136TH DRIVE
ALACHUA, FLORIDA 32615
PHONE: 352.493.0640
Licensed Business No. 8326

PLAT OF
BROOKSIDE
A PORTION OF SECTIONS 21 AND SECTION 22,
TOWNSHIP 14 SOUTH, RANGE 31 EAST
FLAGLER COUNTY, FLORIDA

DEVELOPED BY:
US CAPITAL ALLIANCE, LLC
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FLORIDA 32174

CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD DISTANCE
C1	763.38	3345.00	13°34'33"	383.36	S 49°53'53" E	761.72
C2	75.64	960.00	4°30'51"	37.84	S 37°06'11" E	75.62
C3	22.47	32.00	40°13'29"	11.72	S 24°54'33" W	22.01
C4	142.84	2800.00	2°59'39"	71.48	S 53°42'31" W	142.82
C5	353.43	225.00	90°00'00"	225.00	N 10°18'10" E	318.20
C6	271.47	2025.00	7°40'52"	135.94	N 38°40'11" W	271.27
C7	467.52	325.00	82°29'48"	284.62	N 63°43'15" W	428.24
C8	382.29	250.00	89°53'52"	249.58	S 79°52'49" E	353.24
C9	45.72	1025.00	2°33'21"	22.87	S 3°39'12" E	45.72
C10	83.10	325.00	16°29'14"	48.90	N 50°43'40" W	82.83
C11	374.37	325.00	65°59'51"	211.08	S 88°04'06" W	354.01
C12	54.88	35.00	90°00'00"	35.00	S 10°10'15" W	49.50
C13	392.70	250.00	90°00'00"	250.00	S 10°10'15" W	353.58
C14	311.58	2050.00	8°42'30"	158.09	S 38°11'00" E	311.28
C15	52.88	35.00	88°34'11"	32.97	S 0°10'58" E	47.89
C16	358.24	350.00	58°38'38"	198.58	S 84°23'28" W	342.80
C17	54.88	35.00	90°00'00"	35.00	N 78°55'53" W	49.50
C18	45.72	1000.00	2°33'11"	22.87	N 33°31'17" W	45.72
C19	54.88	35.00	90°00'00"	35.00	S 78°49'48" E	49.50
C20	431.48	275.00	89°53'52"	274.51	S 79°52'49" E	388.56
C21	45.72	1000.00	2°29'42"	22.87	S 33°41'02" E	45.72
C22	383.03	225.00	89°53'52"	224.60	N 78°52'49" W	317.91
C23	54.88	35.00	90°00'00"	35.00	N 10°04'07" E	49.50
C24	55.04	35.00	90°00'00"	35.00	S 79°52'49" E	49.54
C25	54.88	35.00	90°00'00"	35.00	S 10°10'15" W	49.50
C26	54.88	35.00	90°00'00"	35.00	N 78°49'48" W	49.50
C27	314.18	205.00	90°00'00"	205.00	S 10°10'15" W	282.84
C28	286.12	2000.00	7°40'52"	134.26	S 34°40'11" E	287.82
C29	491.88	350.00	82°29'48"	282.73	S 83°48'19" E	385.30
C30	54.92	35.00	89°53'52"	34.94	N 10°07'11" E	49.48
C31	43.18	35.00	70°40'42"	24.82	S 73°22'24" W	43.49
C32	34.11	250.00	7°48'59"	17.06	N 31°15'48" E	34.98
C33	36.40	250.00	8°28'29"	18.23	N 34°53'33" E	36.38
C34	36.40	250.00	8°28'29"	18.23	N 34°53'33" E	36.38
C35	45.52	250.00	10°25'55"	22.82	N 28°27'30" E	45.48
C36	45.52	250.00	10°25'55"	22.82	N 18°01'20" E	45.48
C37	54.88	250.00	12°31'34"	27.44	N 3°32'42" E	54.55
C38	54.88	250.00	12°31'34"	27.44	N 8°58'52" W	54.55
C39	45.52	250.00	10°25'55"	22.82	N 20°27'30" W	45.48
C40	38.94	250.00	9°09'11"	20.01	N 30°15'00" W	39.90
C41	37.54	2050.00	1°02'57"	18.77	N 35°21'13" W	37.54

CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD DISTANCE
C42	39.52	2050.00	1°06'16"	19.76	N 36°25'50" W	39.52
C43	49.40	2050.00	1°22'51"	24.70	N 37°40'23" W	49.40
C44	49.40	2050.00	1°22'51"	24.70	N 39°03'41" W	49.40
C45	58.28	2050.00	1°39'24"	29.64	N 40°34'21" W	58.28
C46	48.30	2050.00	1°21'09"	24.18	N 42°04'38" W	48.30
C47	28.09	2050.00	0°47'07"	14.05	N 43°08'42" W	28.09
C48	28.09	350.00	4°41'52"	14.34	N 68°30'09" W	28.09
C49	58.50	350.00	9°11'38"	28.09	N 78°34'09" W	58.00
C50	45.70	350.00	7°38'42"	23.39	N 83°58'40" W	45.67
C51	45.70	350.00	7°38'42"	23.39	S 88°22'32" W	45.67
C52	37.30	350.00	8°08'50"	18.69	S 81°29'43" W	37.33
C53	37.30	350.00	8°08'50"	18.69	S 79°22'53" W	37.33
C54	46.70	350.00	7°38'42"	23.39	S 69°30'08" W	46.67
C55	46.70	350.00	7°38'42"	23.39	S 69°51'23" W	46.67
C56	12.01	350.00	1°07'00"	6.00	S 60°03'09" W	12.00
C57	25.71	1000.00	1°28'23"	12.86	N 34°11'41" W	25.71
C58	20.01	1000.00	1°08'48"	10.01	N 32°53'08" W	20.01
C59	20.01	1050.00	1°03'11"	10.01	S 32°58'57" E	20.01
C60	25.71	1050.00	1°24'11"	12.86	S 34°13'48" E	25.71
C61	26.57	275.00	5°57'12"	14.30	S 37°54'29" E	26.56
C62	45.89	275.00	9°33'37"	23.00	S 49°39'54" E	45.83
C63	45.89	275.00	9°33'37"	23.00	S 59°13'31" E	45.83
C64	55.09	275.00	11°28'41"	27.64	S 65°44'40" E	55.00
C65	55.09	275.00	11°28'41"	27.64	S 77°13'21" E	55.00
C66	45.89	275.00	9°33'37"	23.00	S 87°44'30" E	45.83
C67	45.89	275.00	9°33'37"	23.00	N 82°41'52" E	45.83
C68	45.89	275.00	9°33'37"	23.00	N 79°08'19" E	45.83
C69	38.89	275.00	7°38'42"	19.37	N 64°32'09" E	38.67
C70	28.09	275.00	5°32'59"	13.97	N 57°06'29" E	28.09
C71	58.54	200.00	10°11'49"	28.48	S 47°04'21" W	58.30
C72	80.54	200.00	23°04'28"	40.82	S 27°25'13" W	80.00
C73	80.54	200.00	23°04'28"	40.82	S 42°14'48" W	80.00
C74	96.53	200.00	27°39'18"	49.23	S 21°00'06" W	95.60
C75	14.83	2000.00	0°25'30"	7.42	S 35°02'30" E	14.83
C76	52.63	2000.00	1°30'28"	26.32	S 36°00'28" E	52.63
C77	52.63	2000.00	1°30'28"	26.32	S 37°30'58" E	52.63
C78	42.10	2000.00	1°12'22"	21.05	S 38°52'22" E	42.10
C79	42.10	2000.00	1°12'22"	21.05	S 40°04'44" E	42.10
C80	42.10	2000.00	1°12'22"	21.05	S 41°17'06" E	42.10
C81	21.71	2000.00	0°37'19"	10.86	S 42°11'51" E	21.71
C82	44.30	300.00	8°28'14"	22.22	S 48°44'44" E	44.31

CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD DISTANCE
C83	90.34	300.00	17°15'14"	45.52	S 59°39'28" E	90.00
C84	90.34	300.00	17°15'14"	45.52	S 78°51'42" E	90.00
C85	75.20	300.00	14°21'43"	37.80	N 87°19'49" E	75.00
C86	97.58	300.00	18°37'58"	48.21	N 70°50'00" E	97.13
C87	33.77	300.00	8°28'09"	16.89	N 58°17'38" E	33.75
C88	107.63	225.00	42°41'11"	67.82	S 79°39'11" W	140.78
C89	90.81	225.00	23°04'26"	45.89	N 79°39'21" W	90.00
C90	82.78	225.00	23°07'33"	41.60	N 47°02'31" W	82.12
C91	2.01	225.00	0°38'41"	1.00	N 30°11'14" W	2.01
C92	581.19	370.00	80°00'00"	370.00	N 10°10'15" E	523.26
C93	290.91	2170.00	7°40'52"	145.87	S 38°40'11" E	290.69
C94	78.88	470.00	9°37'47"	38.99	N 41°19'30" W	78.88
C95	50.48	370.00	7°48'59"	25.28	S 41°15'48" W	50.44
C96	53.87	370.00	8°20'29"	26.98	S 43°11'02" W	53.82
C97	53.87	370.00	8°20'29"	26.98	S 34°30'33" W	53.82
C98	67.37	370.00	10°25'55"	33.78	S 28°27'21" W	67.27
C99	67.37	370.00	10°25'55"	33.78	S 15°01'28" W	67.27
C100	80.89	370.00	12°31'34"	40.61	S 3°32'42" W	80.73
C101	80.89	370.00	12°31'34"	40.61	S 8°38'52" E	80.73
C102	67.37	370.00	10°25'55"	33.78	S 20°27'36" E	67.27
C103	59.11	370.00	9°09'11"	29.62	S 30°15'09" E	59.04
C104	39.73	2170.00	1°02'51"	19.87	S 30°21'13" E	39.73
C105	41.83	2170.00	1°06'18"	20.92	S 38°25'50" E	41.83
C106	52.29	2170.00	1°22'51"	26.15	S 37°40'23" E	52.29
C107	52.29	2170.00	1°22'51"	26.15	S 38°03'14" E	52.29
C108	62.76	2170.00	1°39'24"	31.38	S 43°34'21" E	62.76
C109	42.01	2170.00	1°06'33"	21.01	S 41°57'20" E	42.01
C110	14.28	470.00	1°44'29"	7.14	S 43°22'49" E	14.28
C111	84.72	470.00	7°52'21"	32.41	S 48°11'43" E	84.66
C112	38.86	370.00	8°10'08"	19.45	S 14°32'30" E	38.84
C113	42.65	370.00	8°20'31"	21.04	S 15°52'23" E	42.01
C114	619.76	385.00	89°53'52"	364.30	S 79°52'49" E	558.12
C115	38.20	395.00	9°32'29"	19.12	S 37°52'59" W	38.16
C116	52.71	395.00	7°38'42"	26.36	S 64°32'09" W	52.67
C117	65.81	395.00	9°33'37"	33.03	S 79°08'19" W	65.83
C118	65.81	395.00	9°33'37"	33.03	S 82°41'52" W	65.83
C119	65.81	395.00	9°33'37"	33.03	N 87°44'30" W	65.83
C120	79.13	395.00	11°28'41"	39.70	N 77°13'21" W	79.00
C121	79.13	395.00	11°28'41"	39.70	N 60°44'40" W	79.00
C122	65.81	395.00	9°33'37"	33.03	N 60°13'31" W	65.83
C123	65.81	395.00	9°33'37"	33.03	N 48°39'54" W	65.83

CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD DISTANCE
C124	41.04	395.00	9°57'12"	20.54	N 37°54'29" W	41.02
C125	25.71	1170.00	1°15'33"	12.86	N 34°18'07" W	25.71
C126	548.58	470.00	68°37'48"	308.91	N 88°23'00" E	516.28
C127	104.00	470.00	12°40'40"	52.21	S 64°38'27" E	103.78
C128	75.28	470.00	9°10'38"	37.72	S 75°34'05" E	75.20
C129	62.71	470.00	7°38'42"	31.48	S 83°58'49" E	62.67
C130	62.71	470.00	7°38'42"	31.48	N 88°23'23" E	62.67
C131	50.18	470.00	0°06'52"	25.10	N 81°58'41" E	50.13
C132	50.18	470.00	0°06'52"	25.10	N 79°52'29" E	50.13
C133	62.71	470.00	7°38'42"	31.48	N 68°30'06" E	62.67
C134	62.71	470.00	7°38'42"	31.48	N 60°51'23" E	62.67
C135	16.12	470.00	1°37'59"	8.06	N 56°10'05" E	16.12
C136	125.69	800.00	80°00'00"	80.00	N 10°10'15" E	113.14
C137	252.03	1880.00	7°40'52"	126.21	N 38°40'11" W	251.84
C138	225.28	1880.00	7°14'20"	130.07	N 78°21'41" W	219.80
C139	22.62	800.00	18°11'48"	11.38	N 47°04'21" E	22.54
C140	32.22	800.00	23°04'26"	16.33	S 27°28'13" W	32.00
C141	32.22	800.00	23°04'26"	16.33	N 42°14'48" E	32.00
C142	38					

BROOKSIDE AT ORMOND STATION

SITE DEVELOPMENT PLAN

FLAGLER COUNTY, FL



OWNER:
U.S. CAPITAL ALLIANCE, LLC
880 AIRPORT RD., SUITE 113
ORMOND BEACH, FL 32174
732-552-5154
EMAIL: JBEREN@HUNTERSRIIDGEFL.COM

ENVIRONMENTALIST:
ECS FLORIDA, LLC
11554 DAVIS CREEK COURT
JACKSONVILLE, FL 32256
904-880-0960
EMAIL: JLBRIINSON@ECSLIMITED.COM

SURVEYOR:
LANDGARD, LLC
100065N.W. 136TH DRIVE
ALACHUA, FLORIDA 32615
PH. (352) 493-0640

ENGINEER:
THE ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
880 AIRPORT RD. STE. 113
ORMOND BEACH, FL 32174
PH. (386) 673-7640 FAX: (386) 673-3927
KAB@AE-GROUP.COM

LANDSCAPE ARCHITECT:
BEEBE & ASSOCIATES, INC.
250 PALM COAST PARKWAY, NE
SUITE 607 PMB 128
PALM COAST, FL 321371
386-931-1202
EMAIL: MICHAEL@BEEBEASSOCIATES.COM

LOCATION/ZONING MAP (N.T.S.)



TAX PARCEL ID NUMBER: 21-14-31-0000-01010-0000, 22-14-31-0000-01010-0130

SOILS MAP (N.T.S.)



8: HICORIA, RIVIERA, AND GATOR SOILS SOIL GROUP C/D
16: MALABAR FINE SAND SOIL GROUP A/D
40: POMONA FINE SAND SOIL GROUP B/D

SITE DATA:

SITE AREA:	
TOTAL SITE AREA:	53.163 AC
DEVELOPMENT AREA:	53.163 AC
FLOOD ZONE:	
X - MAP 12035C0345E D REV. 06/06/2018	
ZONING:	
PUD - PLANNED UNIT DEVELOPMENT	
FUTURE LAND USE:	
MIXED USE: LOW INTENSITY	
EXISTING USE:	
VACANT	
IMPERVIOUS SURFACES:	
SIDEWALK:	28,056 SF
ROADS:	164,249 SF
LOTS: (ASSUME 65%)	657,683 SF
RECREATION AREA:	25,500 SF
TOTAL IMPERVIOUS:	875,488 SF (20.098 AC) (37.8%)
TOTAL PERVIOUS:	1,440,313 SF (33.065 AC) (62.2%)
PROPOSED POND AREA:	
545,618 SF (12.536 AC)	
WETLAND IMPACTS:	
TOTAL EXISTING:	1,086,738 SF
PRESERVED:	22,110 SF
IMPACTS:	1,064,628 SF
LOT CRITERIA:	
MINIMUM DEPTH:	120'
MINIMUM WIDTH:	40'
SETBACKS	
FRONT	25'
REAR	20'
SIDE	5'
CORNER LOT SIDE SETBACKS	
40' LOTS	11'
50' LOTS	12.5'
60' LOTS	14'
BUILDINGS:	
MAXIMUM BUILDING HEIGHT:	35'
# OF RESIDENTIAL UNITS PROPOSED:	162
DENSITY:	3.04 UNITS/AC
PRICE RANGE	
(\$/SF OF CONDITIONED SPACE) \$250-300/SF	

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DAYTONA BEACH'S LAND DEVELOPMENT CODE REQUIREMENTS, AND STANDARD CONSTRUCTION DETAILS AND CONSTRUCTION SPECIFICATIONS.
- NO LAND SHALL BE CLEARED, EXCAVATED OR FILLED AND NO STRUCTURE SHALL BE ERRECTED, REPAIRED OR DEMOLISHED WITHOUT PROPER PERMIT(S) AS REQUIRED BY THE CITY OF DELAND.
- NOTIFY THE CITY OF DAYTONA BEACH 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ANY CONSTRUCTION CHANGES TO APPROVED PLANS SHALL BE SUBMITTED TO THE CITY OF DAYTONA BEACH FOR APPROVAL PRIOR TO PERFORMING THE WORK.
- UNSTABLE/UNSUITABLE MATERIALS SHALL BE REMOVED FROM CONSTRUCTION AREAS AND BACKFILLED WITH SUITABLE MATERIAL. REFER TO GEOTECHNICAL REPORT AND RECOMMENDATIONS DURING CONSTRUCTION.
- ROAD CONSTRUCTION AND PIPE INSTALLATION COMPACTION AND DENSITY TESTING SHALL CONFORM TO THE CITY OF DAYTONA BEACH'S MINIMUM REQUIREMENTS. CERTIFIED COPIES OF TEST REPORTS SHALL BE SUBMITTED TO THE CITY INSPECTOR AND ENGINEERING DIVISION.
- A PRE-PAVING UTILITY INSPECTION MUST BE REQUESTED AND COMPLETED PRIOR TO THE PAVING OF ALL ROADS, STREETS, AND PARKING AREAS.
- A FINAL INSPECTION, TO BE CONDUCTED BY THE CITY OF DAYTONA BEACH, SHALL BE PERFORMED ON ALL CONSTRUCTION. THE DESIGN ENGINEER SHALL NOTIFY THE CITY WHEN REQUESTING A FINAL INSPECTION.
- AS-BUILT DRAWINGS SHALL BE SUBMITTED IN ACCORDANCE TO THE CITY OF DAYTONA BEACH RULES & REGULATIONS.
- UTILITIES ARE SHOWN BASED ON AS-BUILTS AND BEST AVAILABLE INFORMATION. CONTRACTOR SHALL LOCATE & FIELD VERIFY ALL UTILITIES PRIOR TO START OF CONSTRUCTION.
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
- CONTRACTOR SHALL ATTEND A MANDATORY PRE-CONSTRUCTION MEETING W/CITY STAFF PRIOR TO ANY DISTURBANCE OF PROPERTY.

PROPOSED USES:

SINGLE FAMILY SUBDIVISION/RESIDENTIAL

STATEMENT OF INTENT

TO CONSTRUCT A PLANNED RESIDENTIAL DEVELOPMENT WITH ASSOCIATED UTILITY INFRASTRUCTURE

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN SECTIONS 21 & 22, TOWNSHIP 14 SOUTH RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 21, SAID POINT ALSO BEING THE NORTHWEST CORNER OF SAID SECTION 22, THENCE SOUTH 01°08'50" EAST, ALONG THE EAST LINE OF SAID SECTION 21 AND ALONG THE WEST LINE OF SAID SECTION 22, A DISTANCE OF 1560.73 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING THE EAST LINE OF SAID SECTION 21 AND THE WEST LINE OF SECTION 22, NORTH 55°04'07" EAST, A DISTANCE OF 6.69 FEET; THENCE SOUTH 49°09'11" EAST, A DISTANCE OF 401.69 FEET; THENCE SOUTH 43°11'29" EAST, A DISTANCE OF 360.85 FEET; THENCE SOUTH 40°02'33" EAST, A DISTANCE OF 43.10 FEET; THENCE SOUTH 34°03'24" EAST, A DISTANCE OF 436.25 FEET; THENCE SOUTH 12°49'26" EAST, A DISTANCE OF 27.75 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF AIRPORT ROAD (HAVING A RIGHT OF WAY WIDTH OF 100 FEET AS SHOWN ON THE PLAT OF AIRPORT ROAD EXTENSION, AS RECORDED IN MAP BOOK 38, PAGES 55 AND 56 OF THE PUBLIC RECORDS OF SAID COUNTY); THENCE SOUTH 55°10'15" WEST, ALONG SAID NORTHERLY RIGHT OF WAY LINE, A DISTANCE OF 1793.69 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 2800.00 FEET AND BEING SUBTENDED BY A CHORD HAVING A BEARING AND DISTANCE OF SOUTH 53°42'31" WEST, 142.92 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID NORTHERLY RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 2°55'30", AN ARC LENGTH OF 142.94 FEET TO THE EASTERLY BOUNDARY LINE OF THE LANDS DESCRIBED AS PARCEL A IN OFFICIAL RECORDS BOOK 2203, PAGES 1431 THROUGH 1437 OF SAID PUBLIC RECORDS; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE AND ALONG SAID EASTERLY BOUNDARY LINE THROUGH THE FOLLOWING FOUR COURSES: 1) NORTH 33°13'30" WEST, A DISTANCE OF 538.90 FEET; 2) THENCE NORTH 1°53'28" EAST, A DISTANCE OF 234.10 FEET; 3) THENCE NORTH 63°42'03" WEST, A DISTANCE OF 226.21 FEET; 4) THENCE NORTH 32°58'07" WEST, A DISTANCE OF 327.35 FEET; THENCE DEPARTING SAID EASTERLY BOUNDARY LINE NORTH 55°04'07" EAST, A DISTANCE OF 1733.92 FEET TO THE POINT OF BEGINNING.

Sheet Number	Sheet Title
C001	COVER
C001A	LEGEND
C002	OVERALL ERCP
C003	WETLAND IMPACTS
C004	OVERALL LAYOUT PLAN
C005	LAYOUT 1
C006	LAYOUT 2
C007	LAYOUT 3
C008	LAYOUT 4
C009	LAYOUT DETAIL
C010	GRADING PLAN 1
C011	GRADING PLAN 2
C012	GRADING PLAN 3
C013	GRADING PLAN 4
C013A	SECTION VIEWS
C013B	SECTION VIEWS
C014	OVERALL UTILITY PLAN
C015	P&P - ROAD A 101+50 TO 107+50
C016	P&P - ROAD A 107+00 TO 113+00
C017	P&P - ROAD A 112+50 TO 118+50
C018	P&P - ROAD A 118+00 TO 124+00
C019	P&P - ROAD A 123+50 TO 129+50
C020	P&P - ROAD A 129+00 TO 135+00
C021	P&P - ROAD A 134+50 TO 140+50
C022	P&P - ROAD A 140+00 TO 145+00
C023	P&P - ROAD C 10+00 TO 15+00

C024	P&P - ROAD C 12+00 TO 17+85
C025	P&P - ROAD B
C026	P&P - ROAD D
C027	DETAILS 1
C028	DETAILS 2
C029	DETAILS 3
C030	DETAILS 4
C031	DETAILS 5
C032	DETAILS 6
C033	DETAILS 7
C034	DETAILS 8
C035	DETAILS 9
C036	DETAILS 10
C037	DETAILS 11
C038	DETAILS 12
C039	DETAILS 13
C040	DETAILS 14
C041	DETAILS 15
C042	DETAILS 16
C043	DETAILS 17
C044	MODEL HOME EXHIBIT

FLU MAP (N.T.S.)



FLU: MIXED USE - LOW INTENSITY

ZONING MAP (N.T.S.)



ZONING: PUD - PLANNED UNIT DEVELOPMENT

BROOKSIDE AT ORMOND STATION
FLAGLER COUNTY, FL
COVER

NO.	DATE	REVISION	BY

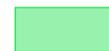
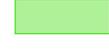
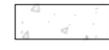
DATE	9-21-23	SCALE	AS NOTED
FILE	2224-1	PROJECT	2224-1
DESIGNER	KAB	DRAWN BY	XXX

2023.11.01
17:36:02-04'00"
NOT VALID UNLESS SIGNED AND SEALED
CODE E, BLACK FIELD NUMBER

SHEET
C001

-  SILT FENCE
-  LIMITS OF GRADING
-  IRRIGATION MAIN
-  WATER MAIN
-  SANITARY SEWER MAIN
-  STORM SEWER
-  FIRE HYDRANT ASSEMBLY
-  VALVE
-  ELBOW
-  DOUBLE WATER SERVICE - SHARED
-  SINGLE WATER SERVICE
-  DOUBLE IRRIGATION SERVICE - SHARED
-  SINGLE IRRIGATION SERVICE
-  DOUBLE SANITARY SEWER SERVICE - SHARED
-  SINGLE SANITARY SEWER SERVICE
-  STORM MANHOLE
-  INLET APRON
-  SANITARY SEWER MANHOLE
-  SITE BOUNDARY
-  ROAD CENTERLINE
-  LANDSCAPE BUFFER
-  BUILDING ENVELOPE
-  LOT LINES

LOT GRADING LEGEND

-  LOT GRADING TYPE 'A'
FLOW FROM BACK TO FRONT
-  LOT GRADING TYPE 'B'
FLOW FROM FRONT TO BACK
-  TYPICAL SPOT GRADE (SPOT
LOCATION TO THE LEFT)
-  INLET PROTECTION
-  WETLAND PRESERVATION
-  SECONDARY IMPACTS
-  WETLAND IMPACTS
-  60' LOTS
-  50' LOTS
-  40' LOTS
-  SIDEWALK
-  PAVEMENT

ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE No. EB5479
 880 AIRPORT ROAD, SUITE. 113
 ORMOND BEACH, FL 32174
 TEL: (386) 673-7640
 FAX: (386) 673-3927



BROOKSIDE AT ORMOND STATION
FLAGLER COUNTY, FL
LEGEND

NO.	DATE	REVISION	BY

DESIGNER KAB	FILE 2224-1	PROJECT 2224-1	DATE 9-21-23
DRAWN BY XXX	SCALE AS NOTED		

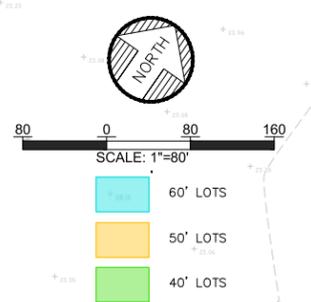
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SHEET
C001A

NO.	DATE	REVISION	BY

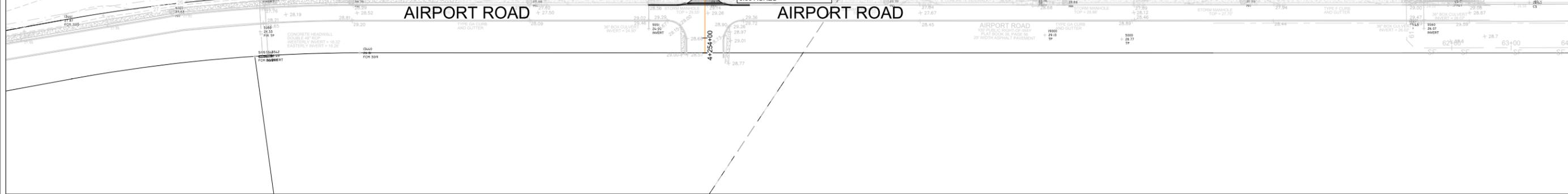
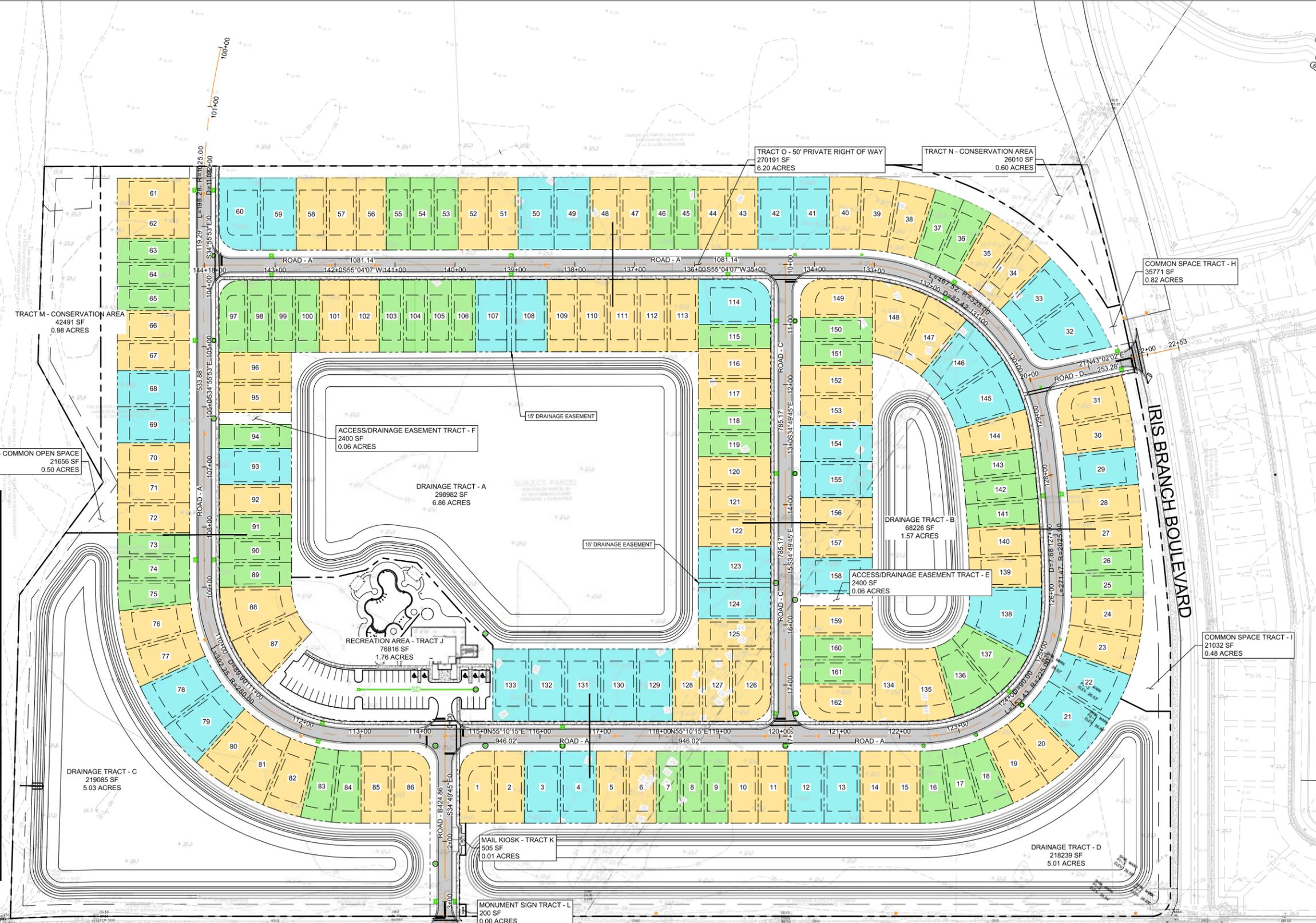
DESIGNER	FILE	DATE	SCALE	DRAWN BY	PROJECT	AS NOTED
KAB	2224-1	9-21-23	AS NOTED	XXX	2224-1	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED
 CODE: B-16 (FL 6800)



PROPOSED LAND USE		
DISCRPTION	AREA (SF)	AREA (AC)
PRIVATE ROW	270187	6.203
LOW DENSITY RESIDENTIAL LOTS	1011820	23.228
TRACT A - DRAINAGE TRACT FOR POND A	298982	6.864
TRACT B - DRAINAGE TRACT FOR POND B	68226	1.566
TRACT C - DRAINAGE TRACT FOR POND C	219085	5.029
TRACT D - DRAINAGE TRACT FOR POND D	216958	4.981
TRACT E - ACCESS/DRAINAGE	2400	0.055
TRACT F - ACCESS/DRAINAGE	2400	0.055
TRACT G - COMMON OPEN SPACE	21656	0.497
TRACT H - COMMON OPEN SPACE	35771	0.821
TRACT I - COMMON OPEN SPACE	21032	0.483
TRACT J - RECREATION AREA	76816	1.763
TRACT K - MAIL KIOSK	505	0.012
TRACT L - MONUMENT SIGN	200	0.005
TRACT M - CONSERVATION AREA	42491	0.975
TRACT N - CONSERVATION AREA	26010	0.597
TOTAL SITE AREA	2314539	53.135

SITE DATA:	
SITE AREA:	
TOTAL SITE AREA:	53.135 AC
DEVELOPMENT AREA:	53.135 AC
FLOOD ZONE:	
X - MAP 12035C0345E D REV. 06/06/2018	
ZONING:	
PUD - PLANNED UNIT DEVELOPMENT	
FUTURE LAND USE:	
MIXED USE: LOW INTENSITY	
EXISTING USE:	
VACANT	
IMPERVIOUS SURFACES:	
SIDEWALK:	28,056 SF
ROADS:	164,249 SF
LOTS: (ASSUME 65%)	657,683 SF
RECREATION AREA:	25,500 SF
TOTAL IMPERVIOUS:	875,488 SF (20.098 AC) (37.8%)
TOTAL PERVIOUS:	1,440,313 SF (33.065 AC) (62.2%)
PROPOSED POND AREA:	
545,618 SF (12.536 AC)	
WETLAND IMPACTS:	
TOTAL EXISTING:	1,086,738 SF
PRESERVED:	22,110 SF
IMPACTS:	1,064,628 SF
LOT CRITERIA:	
MINIMUM LOT SIZE:	4,800 SF
MINIMUM DEPTH:	120'
MINIMUM WIDTH (MEASURED AT FRONT SETBACK):	40'
SETBACKS	
FRONT	25'
REAR	20'
SIDE	5'
CORNER LOT SIDE SETBACKS	
40' LOTS	11'
50' LOTS	12.5'
60' LOTS	14'
BUILDINGS:	
MAXIMUM BUILDING HEIGHT:	35'
# OF RESIDENTIAL UNITS PROPOSED:	162
DENSITY:	3.04 UNITS/AC
PRICE RANGE	
(\$/SF OF CONDITIONED SPACE)	\$250-300/SF



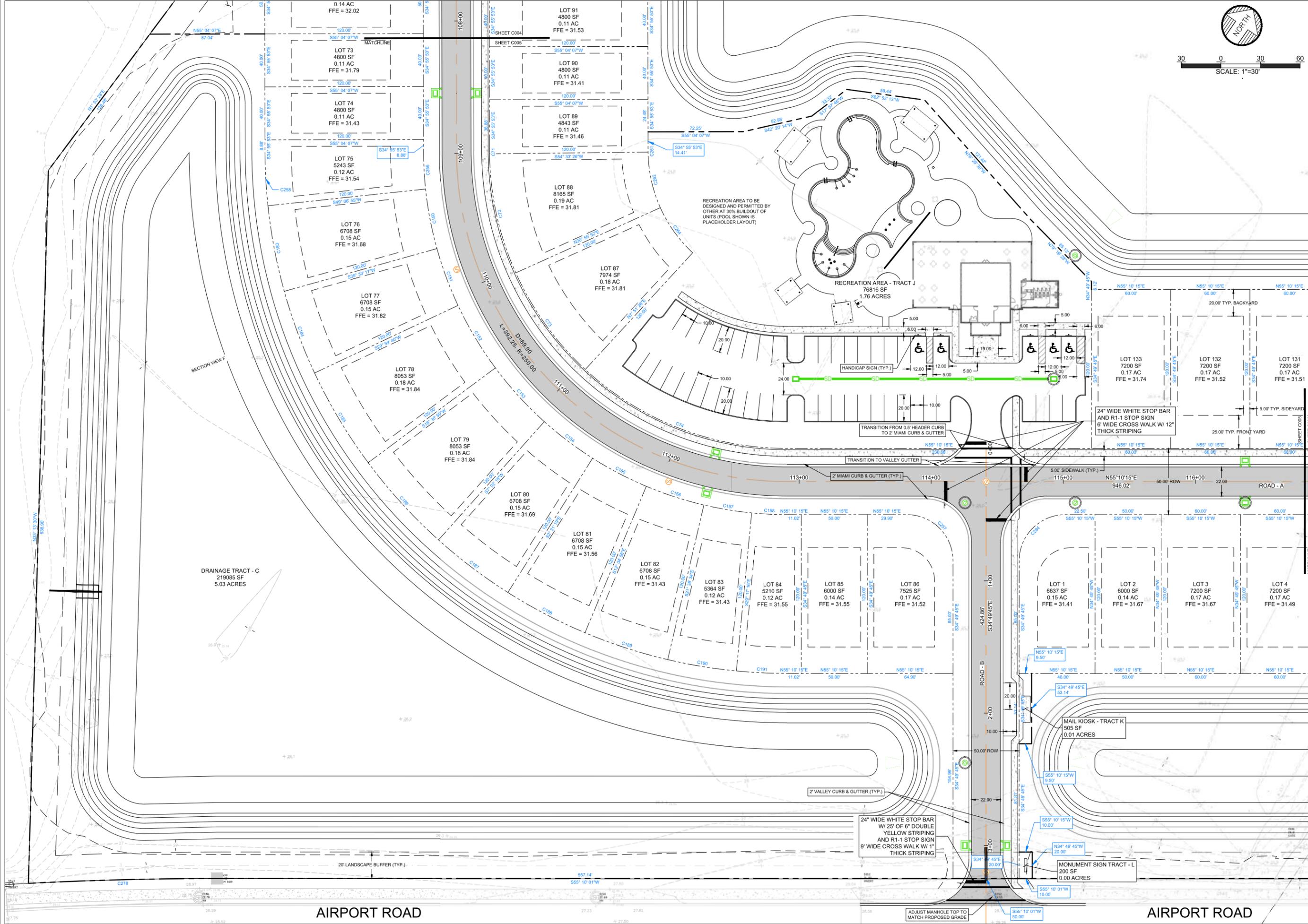


SCALE: 1"=30'

ALANN ENGINEERING GROUP, INC. CONSULTING ENGINEERS CERTIFICATE NO. EB5479 880 AIRPORT ROAD, SUITE 113 ORMOND BEACH, FL 32174 TEL: (386) 673-7640 FAX: (386) 673-3927



BROOKSIDE AT ORMOND STATION FLAGLER COUNTY, FL LAYOUT 2



NO.	DATE	REVISION	BY

DESIGNER	FILE	DATE	DRAWN BY	PROJECT	SCALE	AS NOTED
KAB	2224-1	9-21-23	XXX	2224-1	AS NOTED	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED CODE E, BOOK F, 6B03

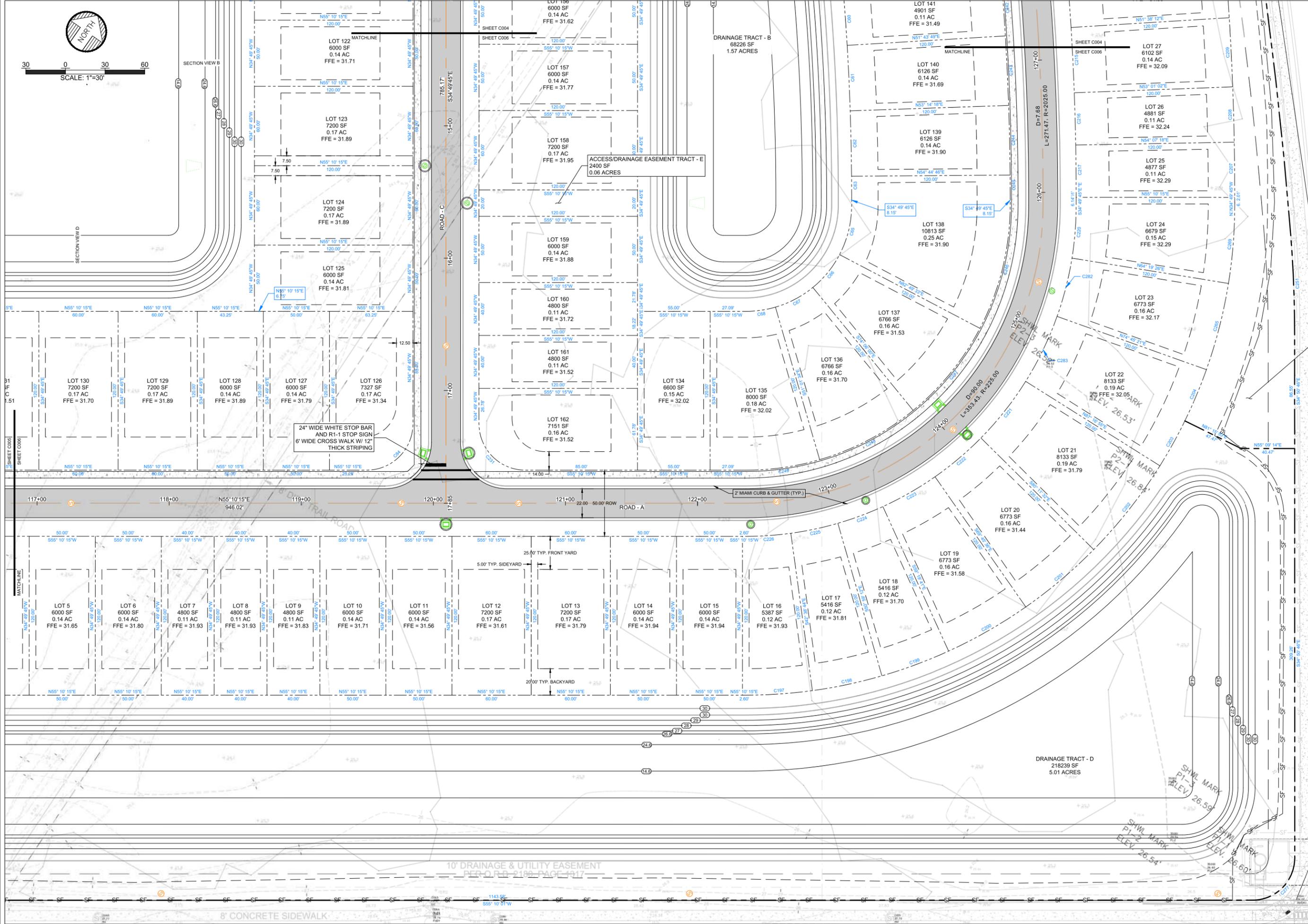
PROJECT INFORMATION: 880 AIRPORT ROAD, SUITE 113, ORMOND BEACH, FL 32174. DATE: 9/21/23. SHEET: C006. LAYOUT 2.



SCALE: 1"=30'

SECTION VIEW B

SECTION VIEW D



24" WIDE WHITE STOP BAR AND R1-1 STOP SIGN 6" WIDE CROSS WALK W/ 12" THICK STRIPING

ACCESS/DRAINAGE EASEMENT TRACT - E 2400 SF 0.06 ACRES

DRAINAGE TRACT - B 68226 SF 1.57 ACRES

DRAINAGE TRACT - D 218239 SF 5.01 ACRES

10' DRAINAGE & UTILITY EASEMENT PER O.R.D. 2188 PAGE 1917

15/03/2024 10:00 AM

ALANN ENGINEERING GROUP, INC. CONSULTING ENGINEERS CERTIFICATE NO. EB5479 880 AIRPORT ROAD, SUITE. 113 ORMOND BEACH, FL 32174 TEL: (386) 673-7640 FAX: (386) 673-3927



BROOKSIDE AT ORMOND STATION FLAGLER COUNTY, FL LAYOUT 3

NO.	DATE	REVISION	BY

DESIGNER	KAB	DRAWN BY	XXX
FILE	2224-1	PROJECT	2224-1
DATE	9-21-23	SCALE	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED CODE E, BOOK F, 6000

SHEET C007

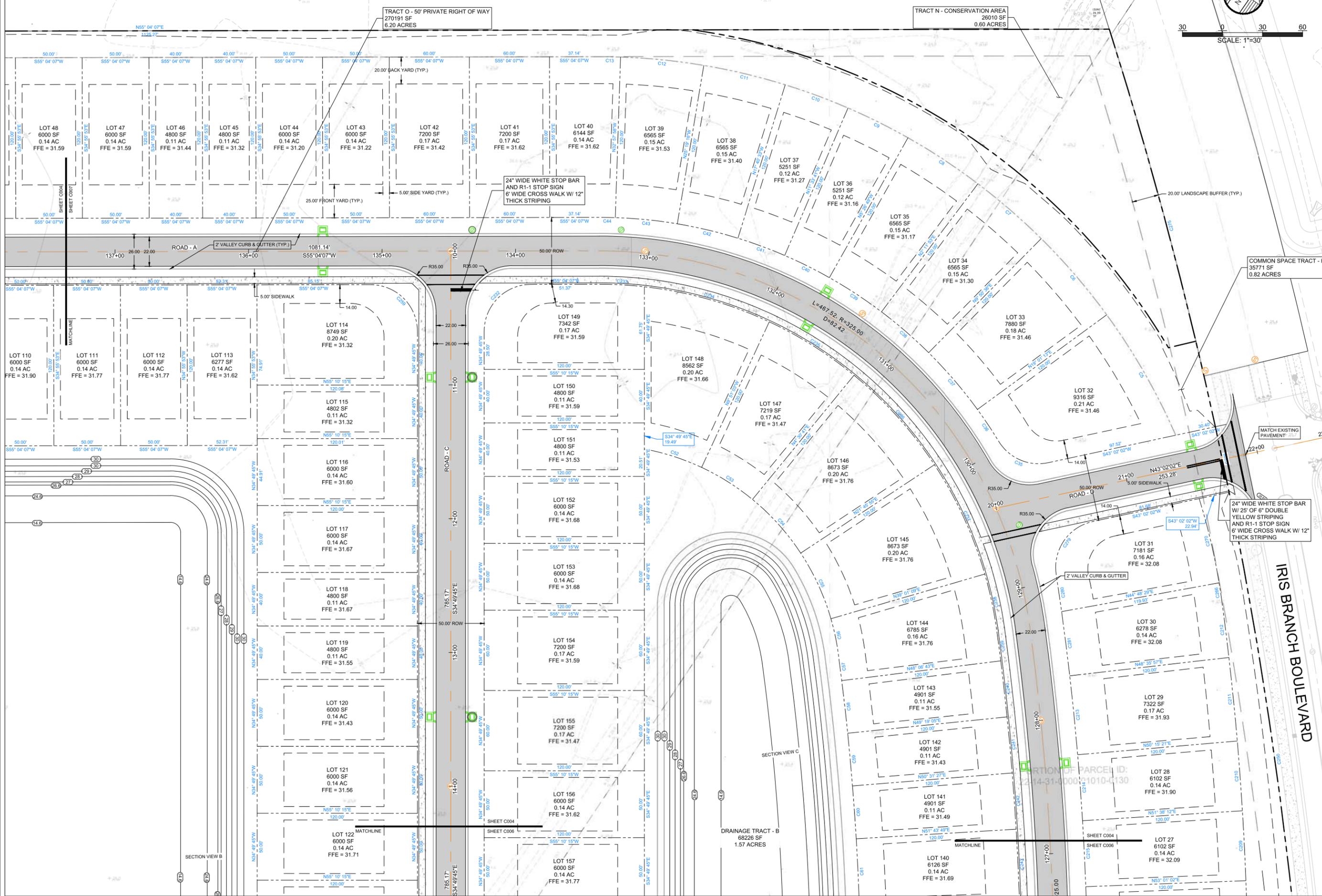
OWNER: US PARCEL ALIGNMENT
 PORTION OF PARCEL ID:
 21-14-31-0000-01010-0000



30 0 30 60
 SCALE: 1"=30'

ALANN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE NO. EB5479
 880 AIRPORT ROAD, SUITE 113
 ORMOND BEACH, FL 32174
 TEL: (386) 673-7640
 FAX: (386) 673-3927

BROOKSIDE AT ORMOND STATION
 FLAGLER COUNTY, FL
 LAYOUT 4



NO.	DATE	REVISION	BY

DESIGNER	FILE	DATE	DRAWN BY	PROJECT	SCALE	AS NOTED
KAB	2224-1	9-21-23	XXX	2224-1	AS NOTED	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED
 CODE E, BOOK F, SERIES

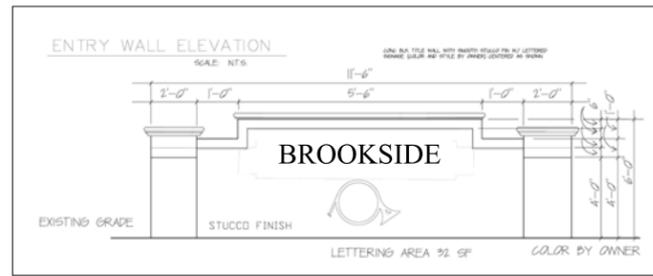
SHEET
C008

PROJECT NUMBER: 21-14-31-0000-01010-0000-0008
 DATE: 9/21/23
 DRAWN BY: XXX
 CHECKED BY: [Signature]

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C5	104.00	470.00	12.68	N64° 38' 27"W	103.78
C6	75.28	470.00	9.18	N75° 34' 05"W	75.20
C7	62.71	470.00	7.65	N83° 58' 45"W	62.67
C8	62.71	470.00	7.65	S88° 22' 32"W	62.67
C9	50.16	470.00	6.11	S81° 29' 45"W	50.13
C10	50.16	470.00	6.11	S75° 22' 53"W	50.13
C11	62.71	470.00	7.65	S68° 30' 06"W	62.67
C12	62.71	470.00	7.65	S60° 51' 23"W	62.67
C13	16.12	470.00	1.97	S56° 03' 05"W	16.12
C35	43.18	35.00	70.68	S78° 22' 24"W	40.49
C36	28.66	350.00	4.69	N68° 38' 00"W	28.66
C37	56.06	350.00	9.18	N75° 34' 05"W	56.00
C38	46.70	350.00	7.65	N83° 58' 45"W	46.67
C39	46.70	350.00	7.65	S88° 22' 32"W	46.67
C40	37.35	350.00	6.11	S81° 29' 45"W	37.33
C41	37.35	350.00	6.11	S75° 22' 53"W	37.33
C42	46.70	350.00	7.65	S68° 30' 06"W	46.67
C43	46.70	350.00	7.65	S60° 51' 23"W	46.67
C44	12.01	350.00	1.97	S56° 03' 05"W	12.00
C45	54.98	35.00	90.00	N79° 55' 53"W	49.50

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C46	25.71	1000.00	1.47	N34° 11' 41"W	25.71
C47	20.01	1000.00	1.15	N32° 53' 06"W	20.01
C52	45.12	180.00	14.36	N72° 58' 06"E	45.00
C53	45.12	180.00	14.36	N87° 19' 49"E	45.00
C54	54.21	180.00	17.25	S76° 51' 42"E	54.00
C55	54.21	180.00	17.25	S59° 36' 28"E	54.00
C56	26.61	180.00	8.47	S46° 44' 44"E	26.59
C57	20.41	1880.00	0.62	S42° 11' 57"E	20.41
C58	39.58	1880.00	1.21	S41° 17' 06"E	39.58
C59	39.58	1880.00	1.21	S40° 04' 44"E	39.58
C60	39.58	1880.00	1.21	S38° 52' 22"E	39.58
C61	49.47	1880.00	1.51	S37° 30' 56"E	49.47
C62	49.47	1880.00	1.51	S36° 00' 28"E	49.47
C63	13.94	1880.00	0.42	S35° 02' 30"E	13.94
C65	38.61	80.00	27.66	S21° 00' 06"E	38.24
C66	32.22	80.00	23.07	S4° 21' 46"W	32.00
C67	32.22	80.00	23.07	S27° 26' 13"W	32.00
C68	22.62	80.00	16.20	S47° 04' 21"W	22.54
C71	2.01	225.00	0.51	S35° 11' 14"E	2.01
C72	92.78	225.00	23.63	S47° 15' 21"E	92.12

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C73	90.61	225.00	23.07	S70° 36' 21"E	90.00
C74	167.63	225.00	42.69	N76° 30' 51"E	163.78
C84	54.98	35.00	90.00	N10° 10' 15"E	49.50
C132	20.01	1050.00	1.09	S32° 58' 57"E	20.01
C133	25.71	1050.00	1.40	S34° 13' 48"E	25.71
C150	45.89	275.00	9.56	S45° 39' 54"E	45.83
C151	45.89	275.00	9.56	S55° 13' 31"E	45.83
C152	55.09	275.00	11.48	S65° 44' 40"E	55.00
C153	55.09	275.00	11.48	S77° 13' 21"E	55.00
C154	45.89	275.00	9.56	S87° 44' 30"E	45.83
C155	45.89	275.00	9.56	N82° 41' 52"E	45.83
C156	45.89	275.00	9.56	N73° 08' 15"E	45.83
C157	36.69	275.00	7.65	N64° 32' 05"E	36.67
C158	26.60	275.00	5.54	N57° 56' 29"E	26.59
C166	25.71	1170.00	1.26	S34° 18' 07"E	25.71
C183	65.91	395.00	9.56	S45° 39' 54"E	65.83
C184	65.91	395.00	9.56	S55° 13' 31"E	65.83
C185	79.13	395.00	11.48	S65° 44' 40"E	79.00
C186	79.13	395.00	11.48	S77° 13' 21"E	79.00
C187	65.91	395.00	9.56	S87° 44' 30"E	65.83



PROPOSED LAND USE		
DISCRPTION	AREA (SF)	AREA (AC)
PRIVATE ROW	270187	6.203
LOW DENSITY RESIDENTIAL LOTS	1011820	23.228
TRACT A - DRAINAGE TRACT FOR POND A	298982	6.864
TRACT B - DRAINAGE TRACT FOR POND B	68226	1.566
TRACT C - DRAINAGE TRACT FOR POND C	219085	5.029
TRACT D - DRAINAGE TRACT FOR POND D	218239	5.010
TRACT E - ACCESS/DRAINAGE	2400	0.055
TRACT F - ACCESS/DRAINAGE	2400	0.055
TRACT G - COMMON OPEN SPACE	64147	1.473
TRACT H - COMMON OPEN SPACE	61762	1.418
TRACT I - COMMON OPEN SPACE	21032	0.483
TRACT J - RECREATION AREA	76816	1.763
TRACT K - MAIL KIOSK	505	0.012
TRACT L - MONUMENT SIGN	200	0.005
TOTAL SITE AREA	2315801	53.163

SITE DATA:

SITE AREA:	
TOTAL SITE AREA:	53.163 AC
DEVELOPMENT AREA:	53.163 AC
FLOOD ZONE:	
X - MAP 12035C0345E D REV. 06/06/2018	
ZONING:	
PUD - PLANNED UNIT DEVELOPMENT	
FUTURE LAND USE:	
MIXED USE- LOW INTENSITY	
EXISTING USE:	
VACANT	
IMPERVIOUS SURFACES:	
SIDEWALK:	28,056 SF
ROADS:	164,249 SF
LOTS: (ASSUME 65%)	657,683 SF
RECREATION AREA:	25,500 SF
TOTAL IMPERVIOUS:	875,488 SF (20.098 AC) (37.8%)
TOTAL PERVIOUS:	1,440,313 SF (33.065 AC) (62.2%)
PROPOSED POND AREA:	
545,618 SF (12.536 AC)	
WETLAND IMPACTS:	
TOTAL EXISTING:	1,086,738 SF
PRESERVED:	22,110 SF
IMPACTS:	1,064,628 SF
LOT CRITERIA:	
MINIMUM DEPTH:	120'
MINIMUM WIDTH:	40'
SETBACKS	
FRONT	25'
REAR	20'
SIDE	5'
CORNER LOT SIDE SETBACKS	
40' LOTS	11'
50' LOTS	12.5'
60' LOTS	14'
BUILDINGS:	
MAXIMUM BUILDING HEIGHT:	35'
# OF RESIDENTIAL UNITS PROPOSED:	162
DENSITY:	3.04 UNITS/AC
PRICE RANGE	
(\$/SF OF CONDITIONED SPACE)	\$250-300/SF

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C188	65.91	395.00	9.56	N82° 41' 52"E	65.83
C189	65.91	395.00	9.56	N73° 08' 15"E	65.83
C190	52.71	395.00	7.65	N64° 32' 05"E	52.67
C191	38.20	395.00	5.54	N57° 56' 29"E	38.19
C197	50.48	370.00	7.82	N51° 15' 46"E	50.44
C198	53.87	370.00	8.34	N43° 11' 02"E	53.82
C199	53.87	370.00	8.34	N34° 50' 33"E	53.82
C200	67.37	370.00	10.43	N25° 27' 21"E	67.27
C201	67.37	370.00	10.43	N15° 01' 26"E	67.27
C202	80.89	370.00	12.53	N3° 32' 42"E	80.73
C203	38.86	370.00	6.02	N5° 43' 36"W	38.84
C204	42.03	370.00	6.51	N11° 59' 23"W	42.01
C207	39.73	2170.00	1.05	N35° 21' 13"W	39.73
C208	41.83	2170.00	1.10	N36° 25' 50"W	41.83
C209	52.29	2170.00	1.38	N37° 40' 23"W	52.29
C210	52.29	2170.00	1.38	N39° 03' 14"W	52.29
C211	62.75	2170.00	1.66	N40° 34' 21"W	62.75
C212	42.01	2170.00	1.11	N41° 57' 20"W	42.01
C213	59.28	2050.00	1.66	S40° 34' 21"E	59.28
C214	49.40	2050.00	1.38	S39° 03' 14"E	49.40

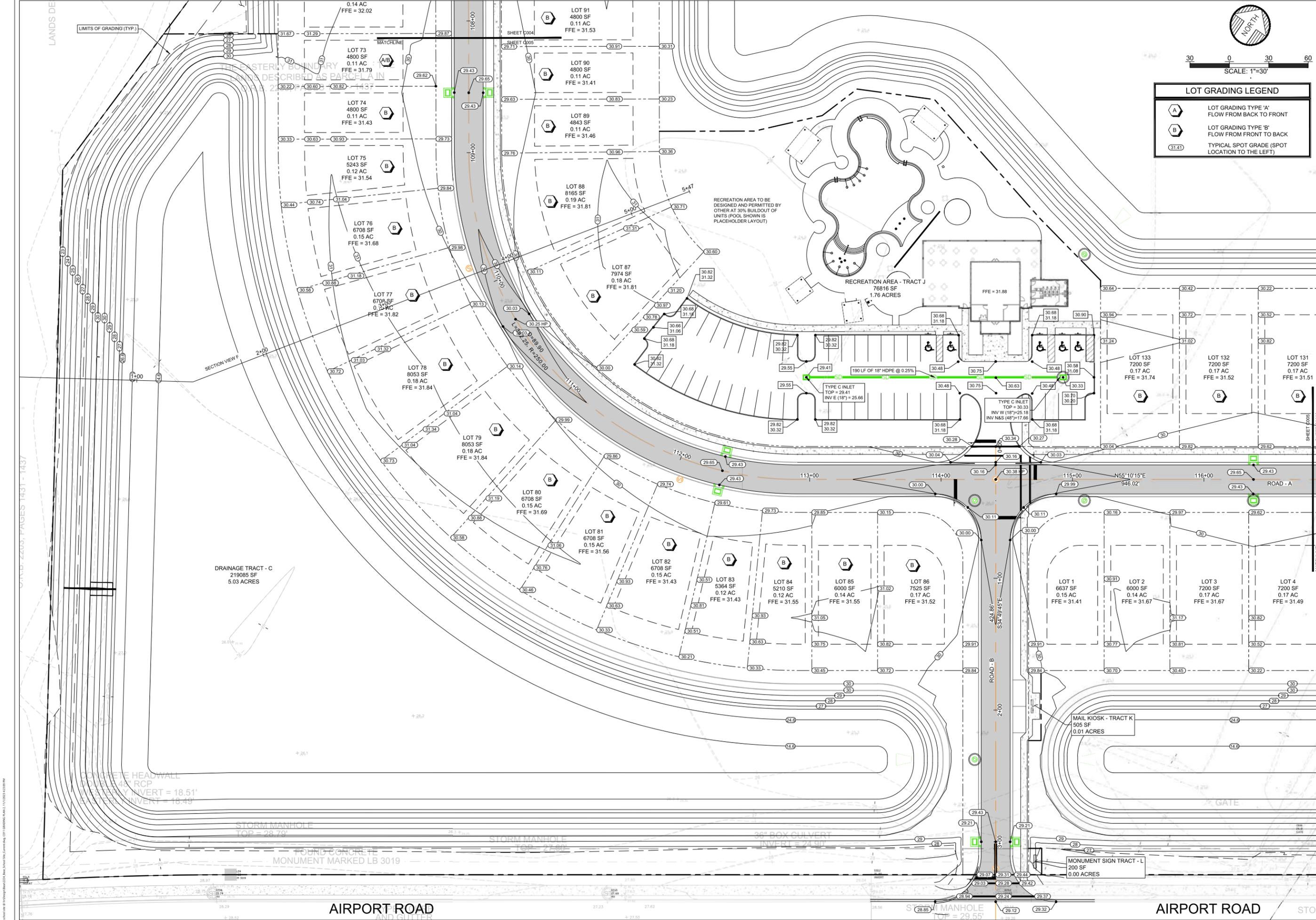
Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C215	49.40	2050.00	1.38	S37° 40' 23"E	49.40
C216	39.52	2050.00	1.10	S36° 25' 50"E	39.52
C217	37.54	2050.00	1.05	S35° 21' 13"E	37.54
C220	39.94	250.00	9.15	S30° 15' 09"E	39.90
C221	54.65	250.00	12.53	S3° 32' 42"W	54.55
C222	45.52	250.00	10.43	S15° 01' 28"W	45.46
C223	45.52	250.00	10.43	S25° 27' 21"W	45.46
C224	36.40	250.00	8.34	S34° 50' 33"W	36.36
C225	36.40	250.00	8.34	S43° 11' 02"W	36.36
C226	34.11	250.00	7.82	S51° 15' 46"W	34.08
C231	54.98	35.00	90.00	N79° 49' 45"W	49.50
C232	54.92	35.00	89.90	N10° 07' 11"E	49.45
C233	33.77	300.00	6.45	N58° 17' 35"E	33.75
C234	97.56	300.00	18.63	N70° 50' 00"E	97.13
C235	75.20	300.00	14.36	N87° 19' 49"E	75.00
C236	90.34	300.00	17.25	S76° 51' 42"E	90.00
C237	90.34	300.00	17.25	S59° 36' 28"E	90.00
C238	44.35	300.00	8.47	S46° 44' 44"E	44.31
C239	21.71	2000.00	0.62	S42° 11' 57"E	21.71
C240	42.10	2000.00	1.21	S41° 17' 06"E	42.10

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C241	42.10	2000.00	1.21	S40° 04' 44"E	42.10
C242	42.10	2000.00	1.21	S38° 52' 22"E	42.10
C243	52.63	2000.00	1.51	S37° 30' 56"E	52.63
C244	52.63	2000.00	1.51	S36° 00' 28"E	52.63
C245	14.83	2000.00	0.42	S35° 02' 30"E	14.83
C246	96.53	200.00	27.65	S21° 00' 06"E	95.60
C247	80.54	200.00	23.07	S4° 21' 46"W	80.00
C248	80.54	200.00	23.07	S27° 26' 13"W	80.00
C249	56.54	200.00	16.20	S47° 04' 21"W	56.35
C250	405.75	3345.00	6.95	S42° 50' 07"E	405.50
C251	75.64	960.00	4.51	S37° 06' 11"E	75.62
C256	28.57	275.00	5.95	S37° 54' 29"E	28.56
C257	54.98	35.00	90.00	S79° 49' 45"E	49.50
C258	41.04	395.00	5.95	S37° 54' 29"E	41.02
C259	55.04	35.00	90.10	N79° 52' 49"W	49.54
C260	54.98	35.00	90.00	S10° 04' 07"W	49.50
C261	0.94	105.00	0.51	S35° 11' 14"E	0.94
C262	43.30	105.00	23.63	S47° 15' 21"E	42.99
C263	42.29	105.00	23.07	S70° 36' 21"E	42.00
C264	42.29	105.00	23.07	S70° 36' 21"E	42.00

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C265	67.37	370.00	10.43	N20° 27' 36"W	67.27
C266	14.28	470.00	1.74	N43° 22' 49"W	14.28
C267	64.72	470.00	7.89	N48° 11' 43"W	64.66
C269	59.11	370.00	9.15	N30° 15' 09"W	59.04
C270	64.72	470.00	7.89	N48° 11' 43"W	64.66
C275	242.11	3345.00	4.15	S50° 21' 45"E	242.06
C276	50.00	3345.00	0.86	S46° 44' 18"E	50.00
C277	50.28	32.00	90.02	S10° 09' 46"W	45.26
C278	142.94	2800.00	2.92	S53° 42' 31"W	145.34
C279	52.88	35.00	86.57	S0° 15' 06"E	47.99
C280	28.09	2050.00	0.79	S43° 08' 42"E	28.09
C281	48.35	2050.00	1.35	S42° 04' 36"E	48.35
C282	45.52	250.00	10.43	S20° 27' 36"E	45.46
C283	54.65	250.00	12.53	S8° 58' 52"E	54.55
C284	54.98	35.00	90.00	S10° 10' 15"W	49.50

ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. EB5479
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FL 32174
TEL: (386) 673-7640
FAX: (386) 673-3927

BROOK



SCALE: 1"=30'

LOT GRADING LEGEND	
	LOT GRADING TYPE 'A' FLOW FROM BACK TO FRONT
	LOT GRADING TYPE 'B' FLOW FROM FRONT TO BACK
	TYPICAL SPOT GRADE (SPOT LOCATION TO THE LEFT)

ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. EB5479
880 AIRPORT ROAD, SUITE 113
ORMOND BEACH, FL 32174
TEL: (386) 673-7640
FAX: (386) 673-3927



BROOKSIDE AT ORMOND STATION
FLAGLER COUNTY, FL
GRADING PLAN 2

NO.	DATE	REVISION	BY

DESIGNER	KAB	DRAWN BY	XXX
FILE	2224-1	PROJECT	2224-1
DATE	9-21-23	SCALE	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED
CODE: B, C, E, M, S, R, T, U, V, W, X, Y, Z

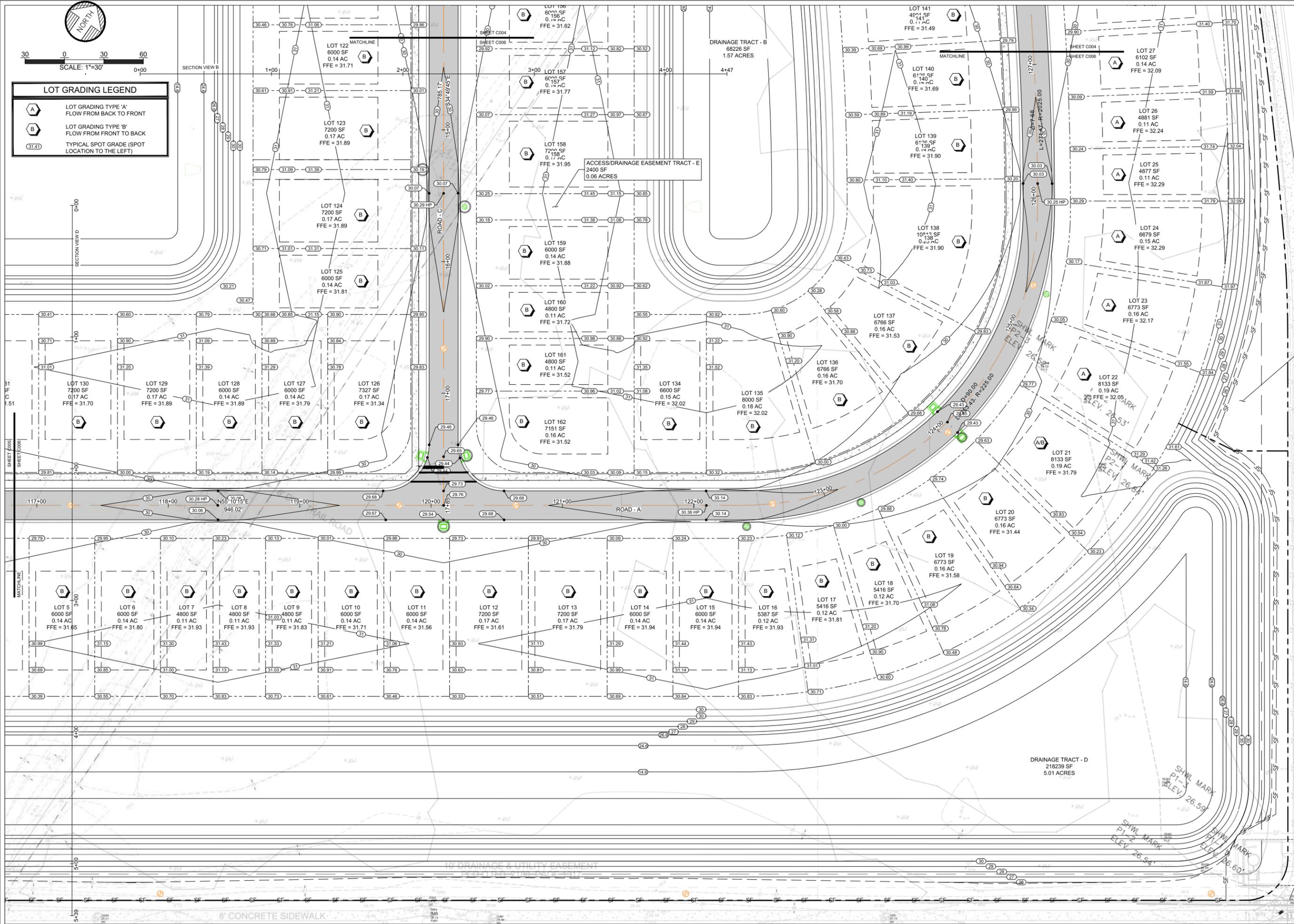
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SCALE: 1"=30'

LOT GRADING LEGEND	
	LOT GRADING TYPE 'A' FLOW FROM BACK TO FRONT
	LOT GRADING TYPE 'B' FLOW FROM FRONT TO BACK
	TYPICAL SPOT GRADE (SPOT LOCATION TO THE LEFT)



ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. EB5479
880 AIRPORT ROAD, SUITE. 113
ORMOND BEACH, FL 32174
TEL: (386) 673-7640
FAX: (386) 673-3927



BROOKSIDE AT ORMOND STATION
FLAGLER COUNTY, FL
GRADING PLAN 3

NO.	DATE	REVISION	BY

DESIGNER	KAB	DRAWN BY	XXX
FILE	2224-1	PROJECT	2224-1
DATE	9-21-23	SCALE	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED
CODE E, BOOK P.E. 6600

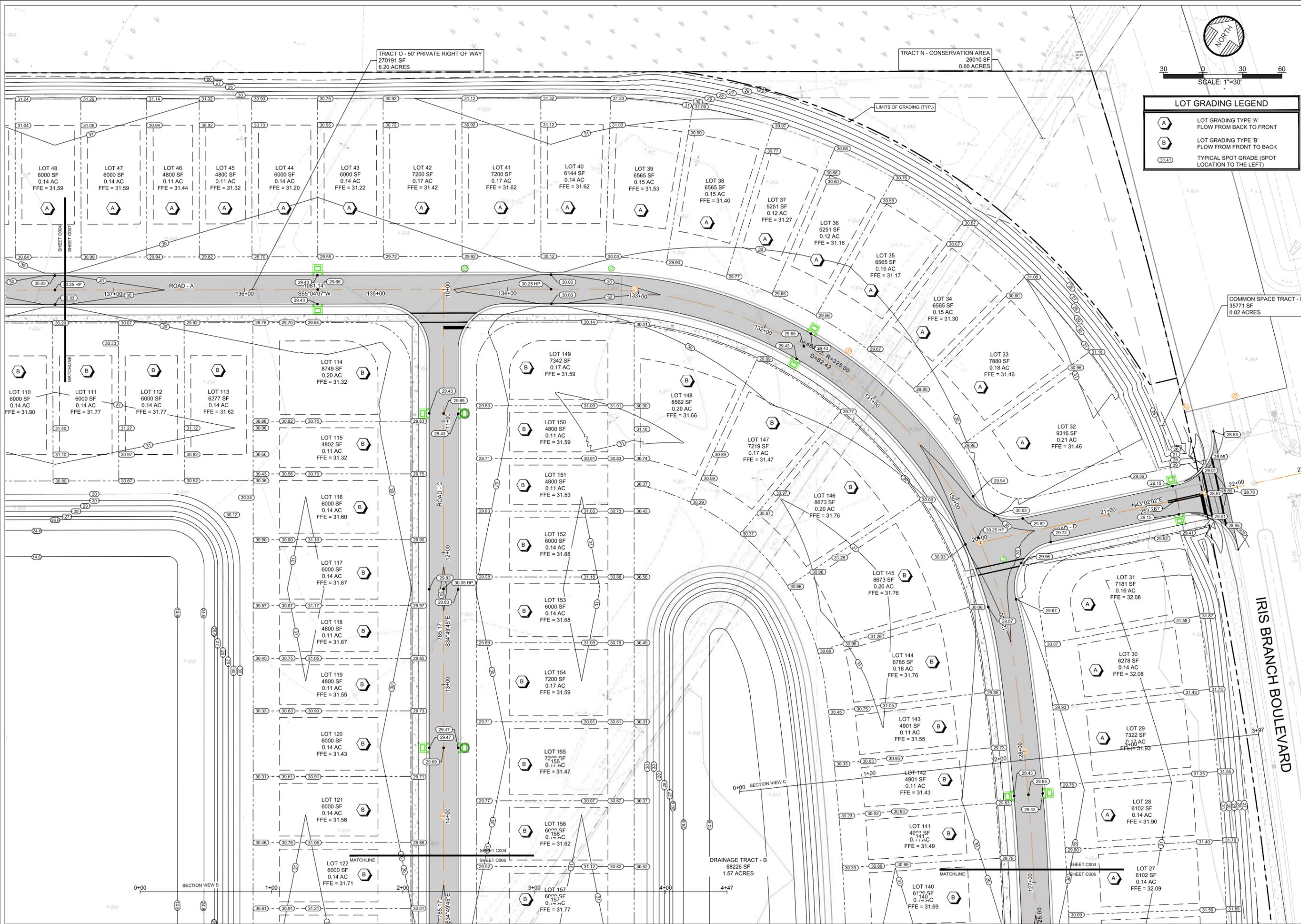


30 0 30 60
SCALE: 1"=30'

LOT GRADING LEGEND	
	LOT GRADING TYPE 'A' FLOW FROM BACK TO FRONT
	LOT GRADING TYPE 'B' FLOW FROM FRONT TO BACK
	TYPICAL SPOT GRADE (SPOT LOCATION TO THE LEFT)

ALLAN ENGINEERING GROUP, INC.
 CONSULTING ENGINEERS
 CERTIFICATE NO. EB5479
 880 AIRPORT ROAD, SUITE 113
 ORMOND BEACH, FL 32174
 TEL: (386) 673-7640
 FAX: (386) 673-3927

BROOKSIDE AT ORMOND STATION
 FLAGLER COUNTY, FL
 GRADING PLAN 4



NO.	DATE	REVISION	BY

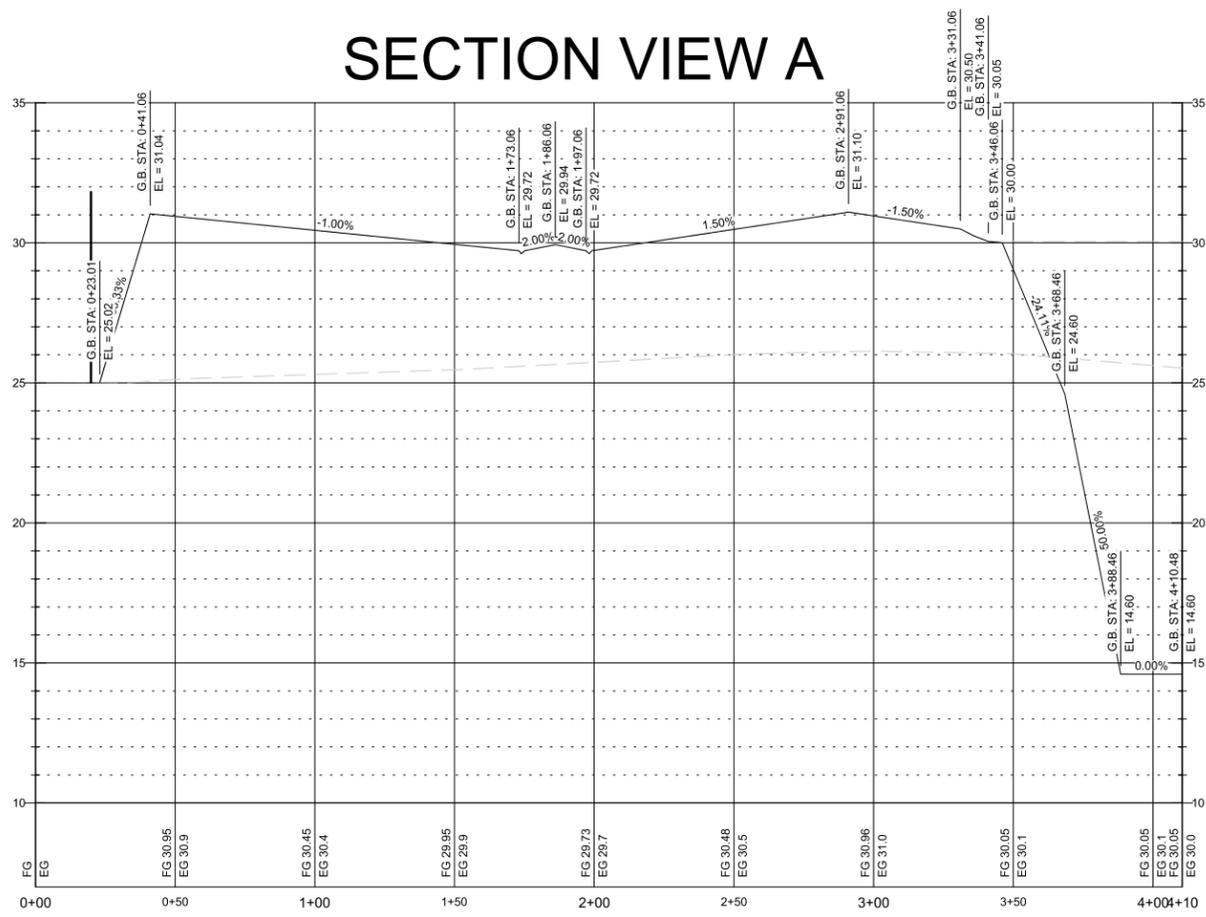
DESIGNER	FILE	DATE	DRAWN BY	PROJECT	SCALE	AS NOTED
KAB	2224-1	9-21-23	XXX	2224-1	AS NOTED	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED
 CODE T, BOOK F, NUMBER

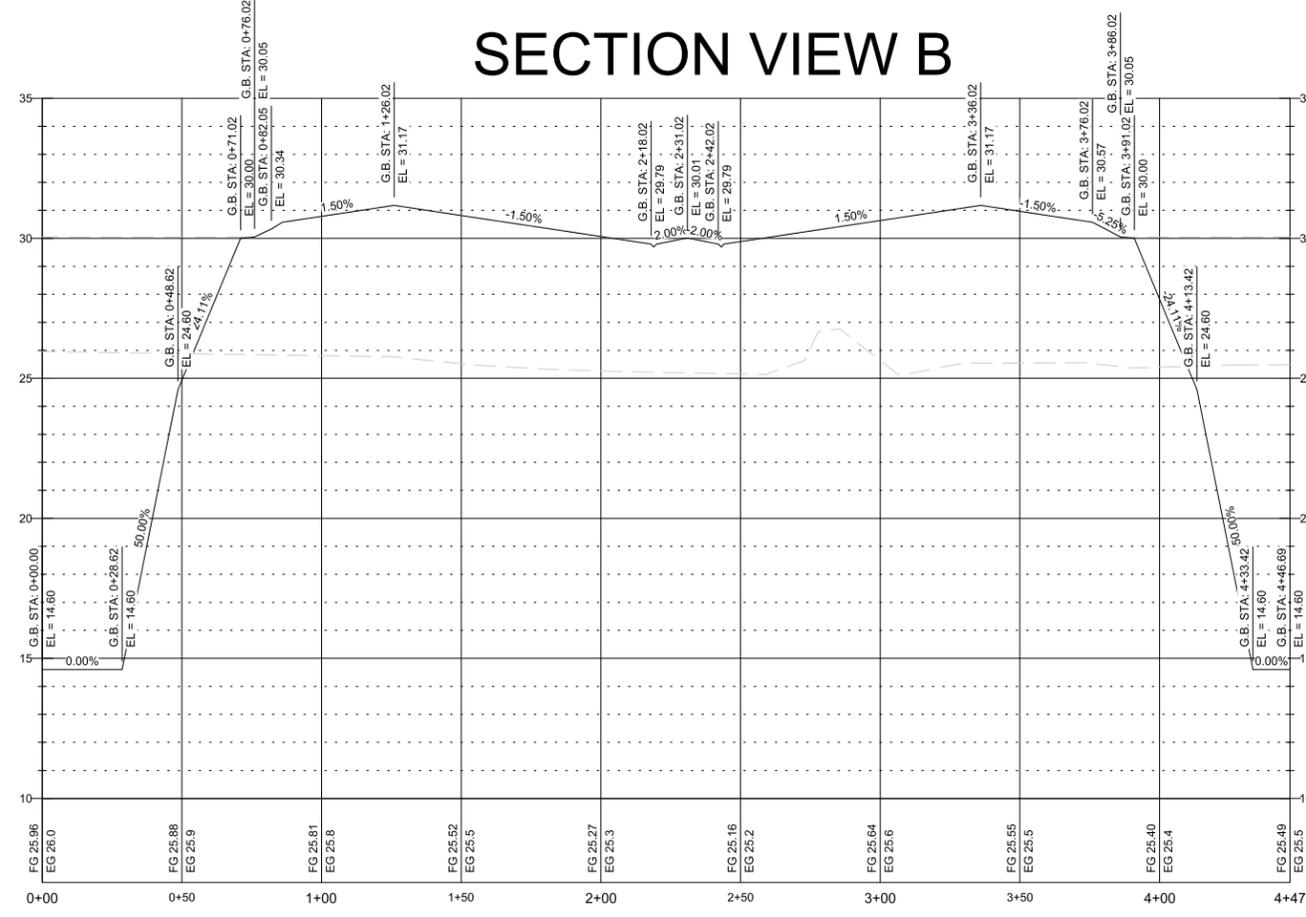
SHEET
C013

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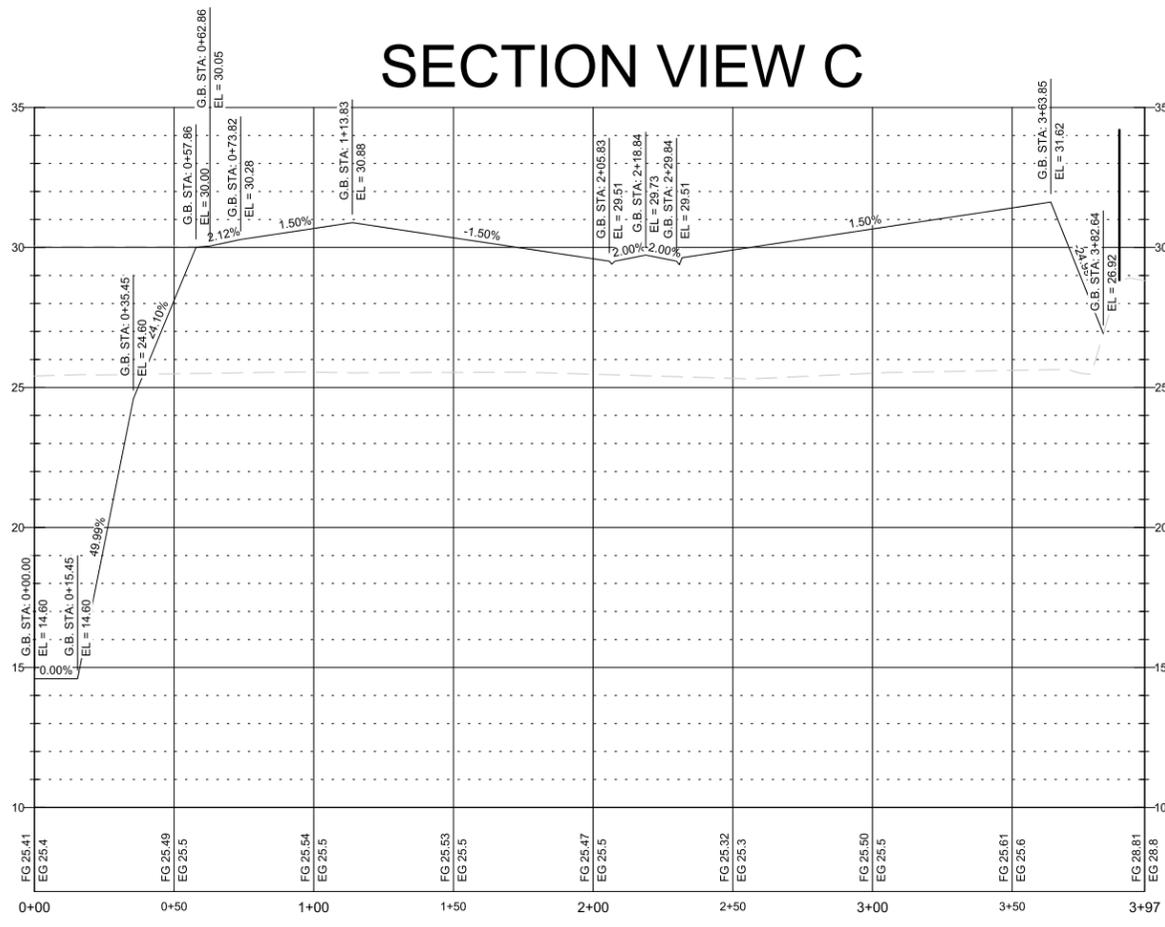
SECTION VIEW A



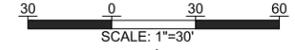
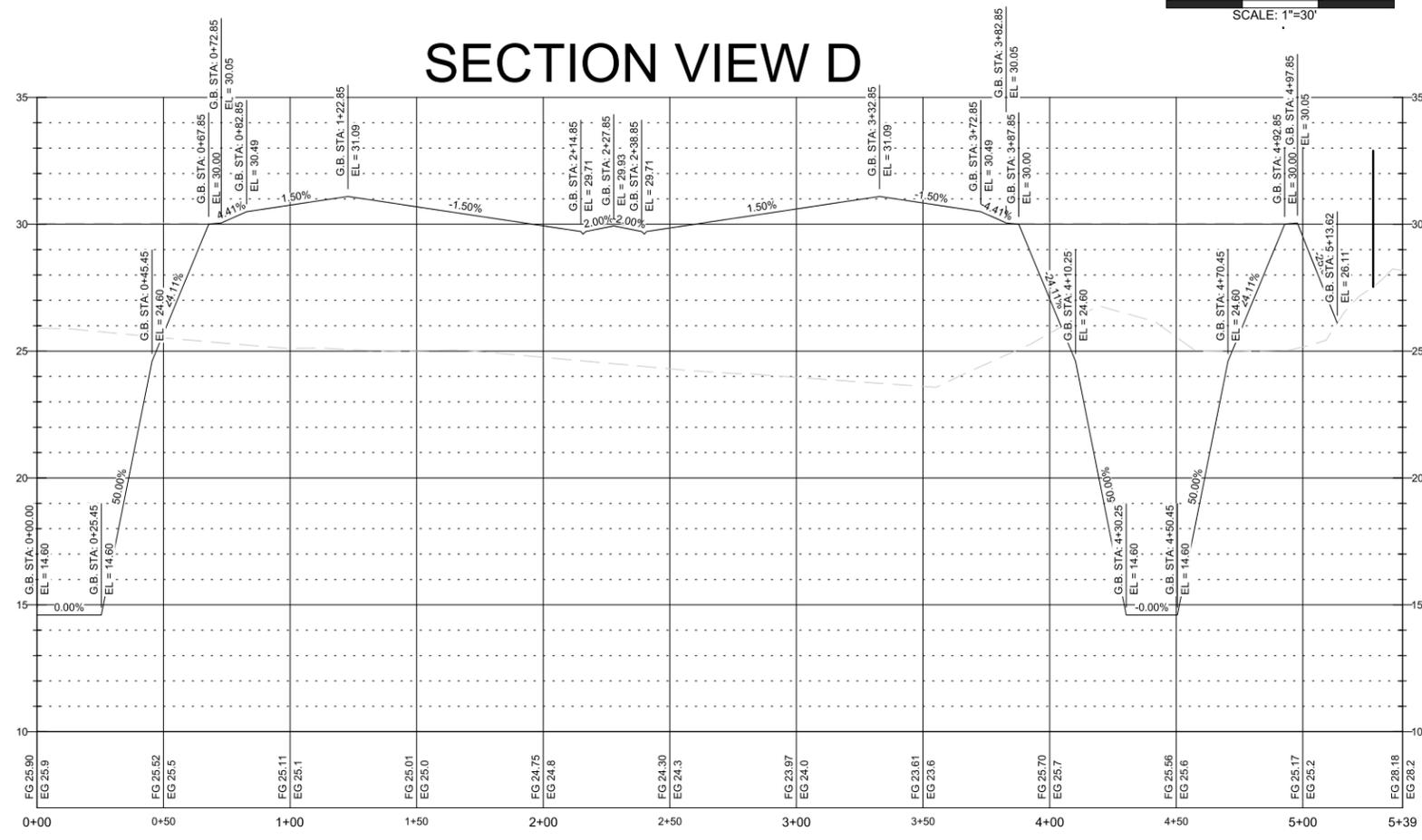
SECTION VIEW B



SECTION VIEW C



SECTION VIEW D



ALANN ENGINEERING GROUP, INC.
CONSULTING ENGINEERS
CERTIFICATE NO. EB5479
880 AIRPORT ROAD, SUITE. 113
ORMOND BEACH, FL 32174
TEL: (386) 673-7640
FAX: (386) 673-3927

BROOKSIDE AT ORMOND STATION
FLAGLER COUNTY, FL
SECTION VIEWS

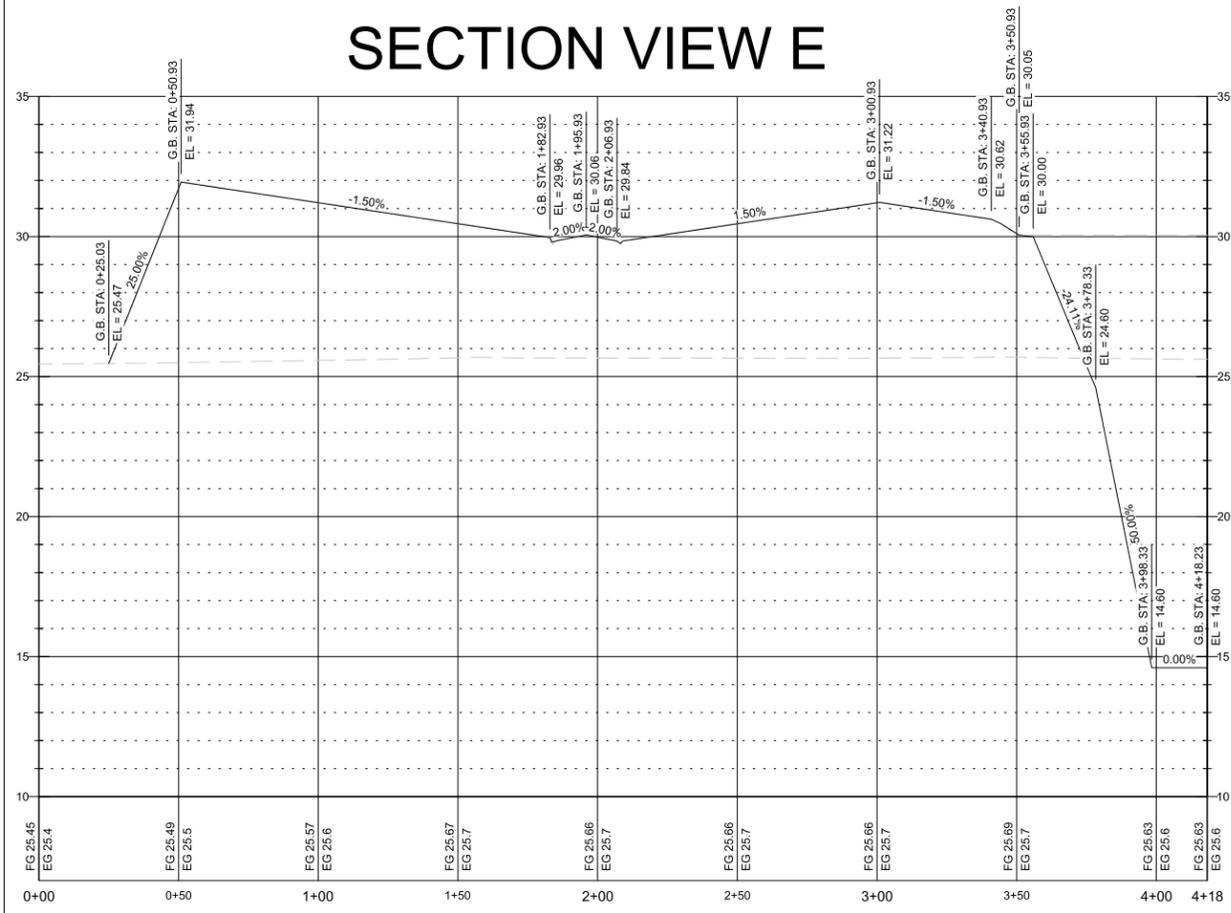
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DESIGNER	KAB	FILE	2224-1	DATE	9-21-23	SCALE	AS NOTED
DRAWN BY	XXX	PROJECT	2224-1				

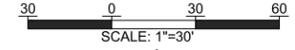
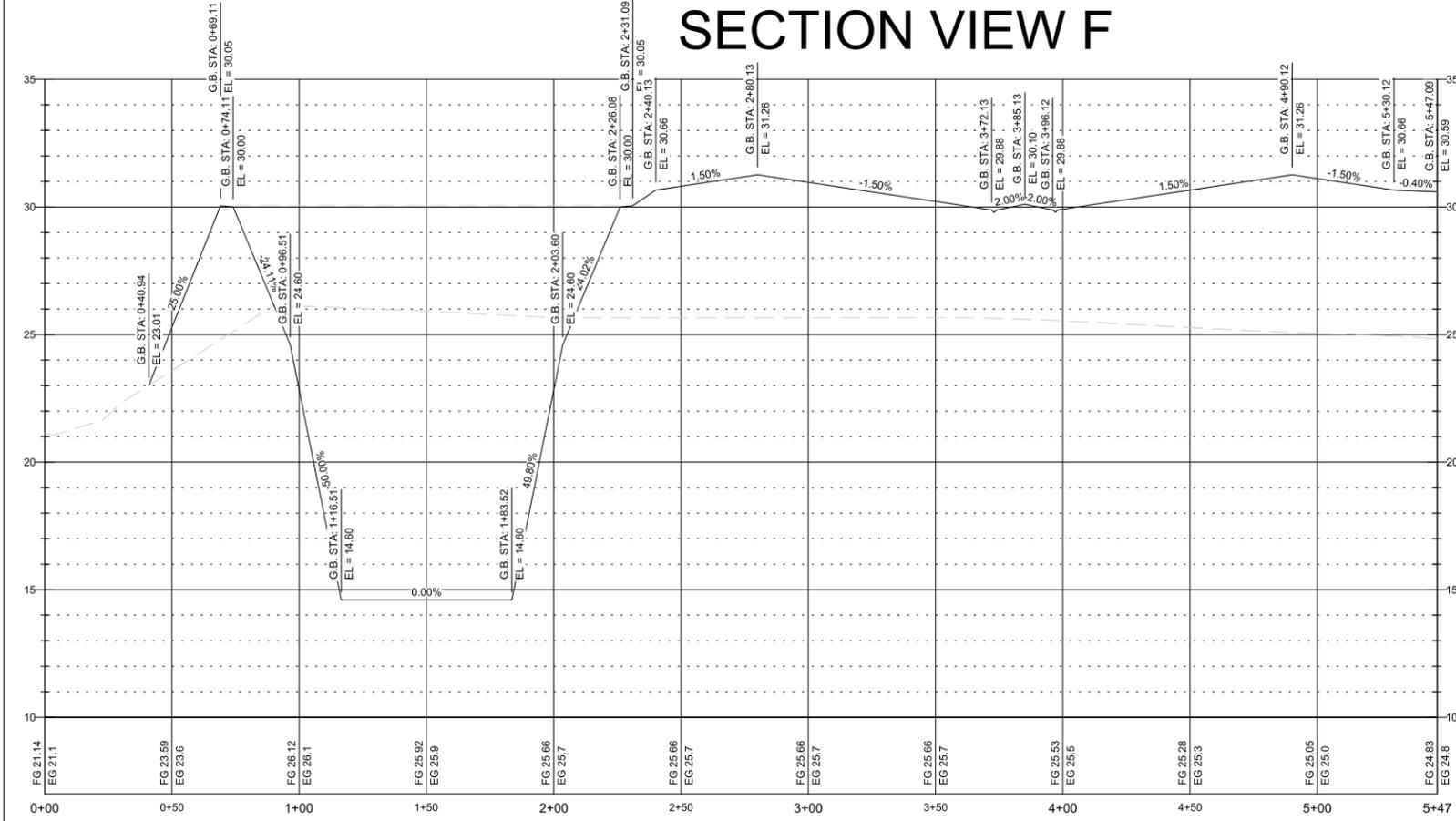
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SECTION VIEW E



SECTION VIEW F



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 CERTIFICATE NO. EB5479
 880 AIRPORT ROAD, SUITE. 113
 ORMOND BEACH, FL 32174
 TEL: (386) 673-7640
 FAX: (386) 673-3927

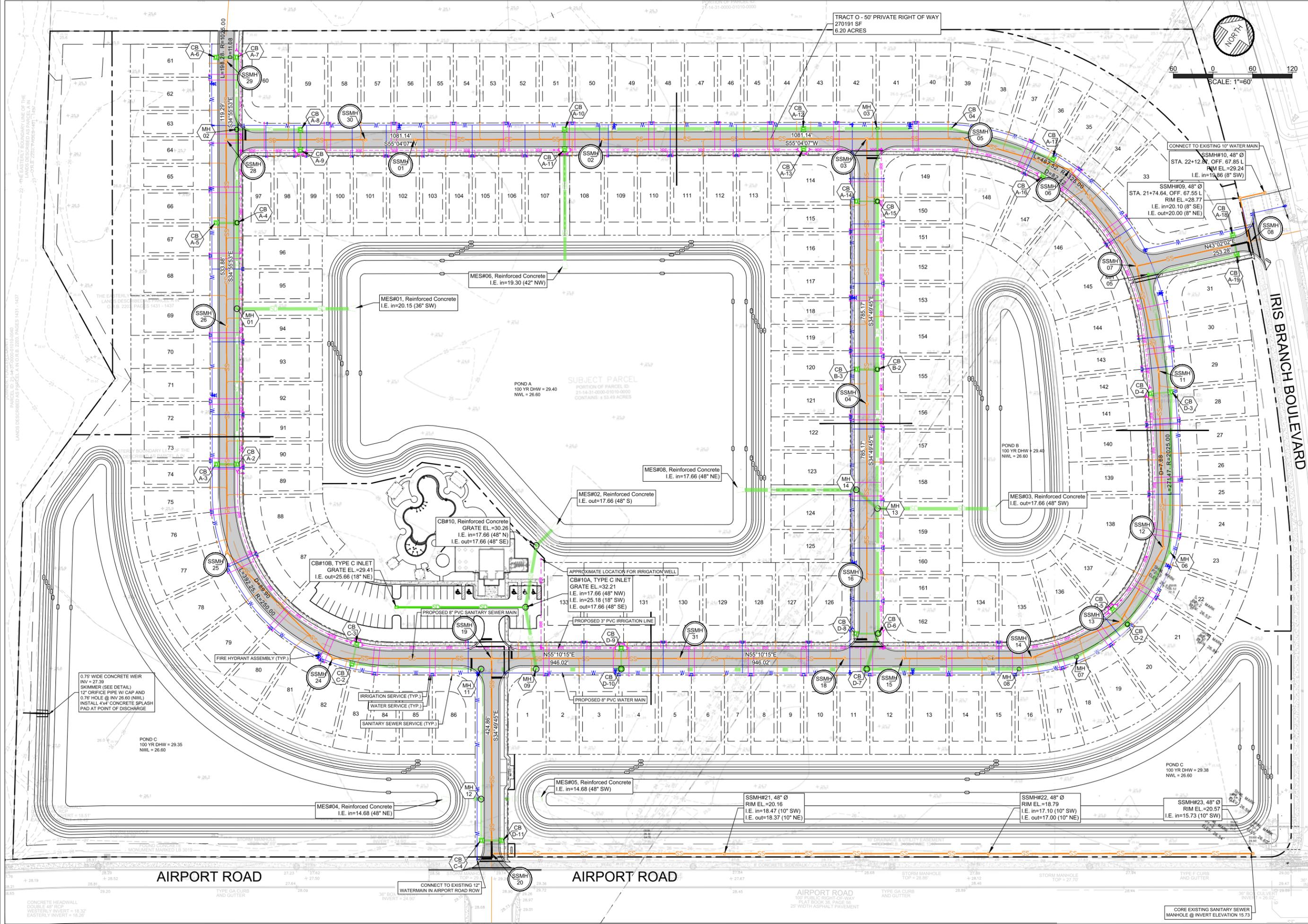
BROOKSIDE AT ORMOND STATION
FLAGLER COUNTY, FL
SECTION VIEWS

NO.	DATE	REVISION	BY

DESIGNER	KAB	FILE	2224-1	DATE	9-21-23
DRAWN BY	XXX	PROJECT	2224-1	SCALE	AS NOTED

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 FAX: (386) 673-3927

BROOKSIDE AT ORMOND STATION
FLAGLER COUNTY, FL
OVERALL UTILITY PLAN

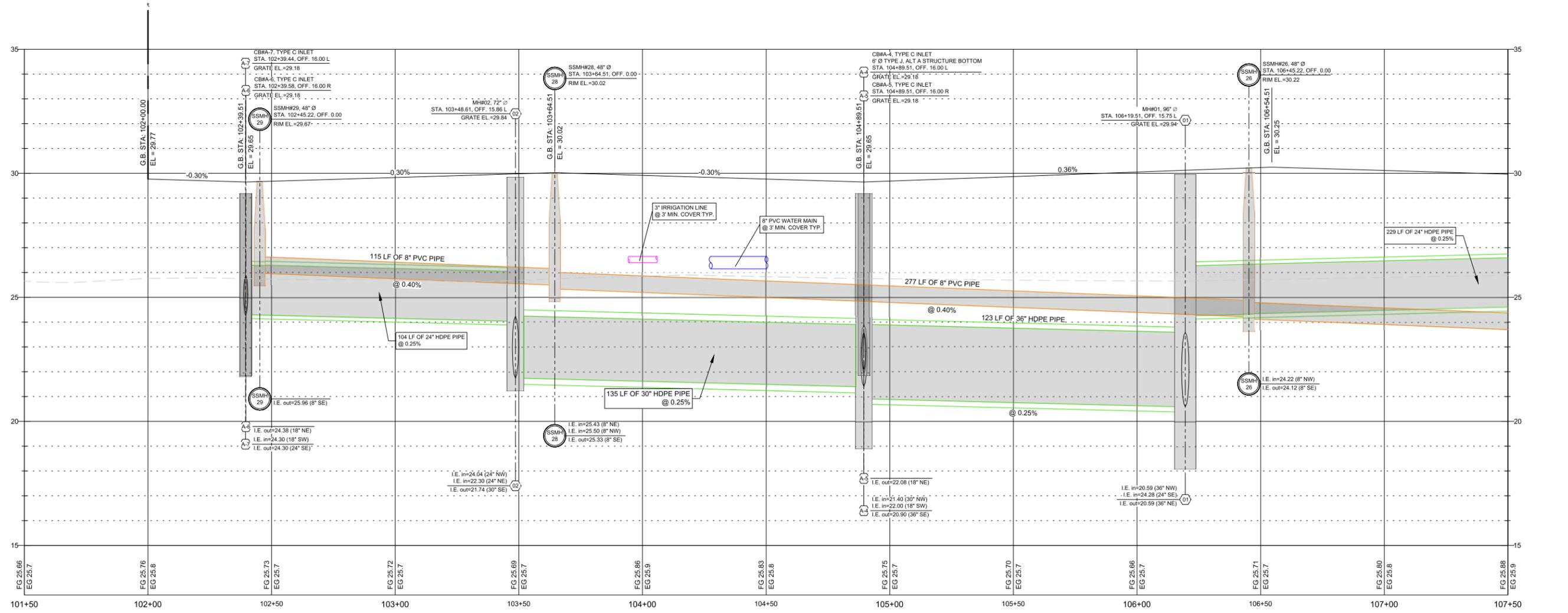
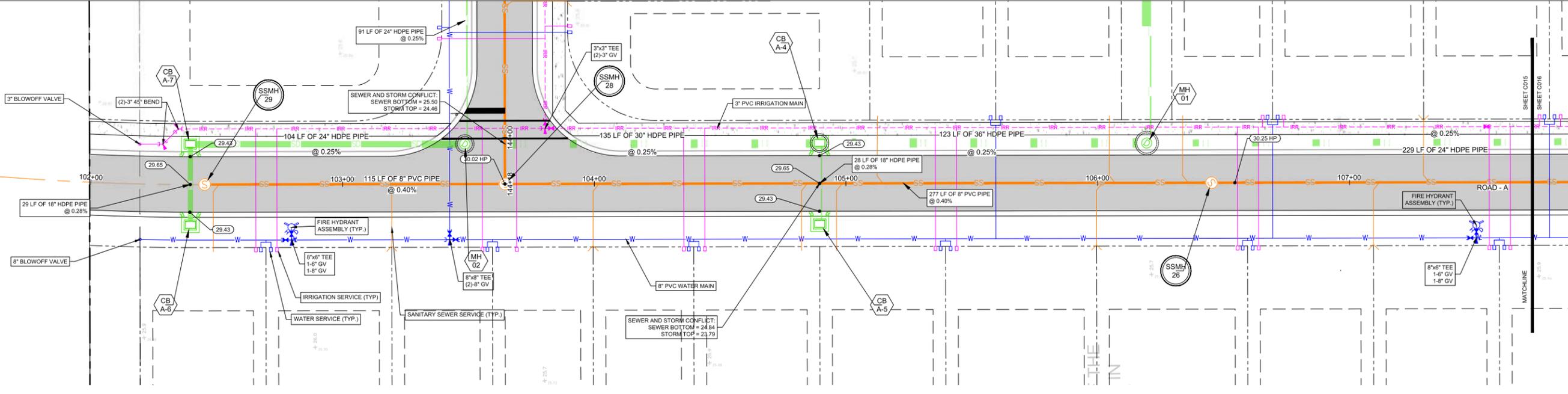
NO.	DATE	REVISION	BY

DESIGNER	FILE	DATE	SCALE	PROJECT	AS NOTED
KAB	2224-1	9-21-23	AS NOTED	2224-1	AS NOTED
XXX	2224-1				

NOT VALID UNLESS SIGNED AND SEALED
 CODE E, BOOK F, 6000

SHEET
C014

ROAD A - 101+50 TO 107+50

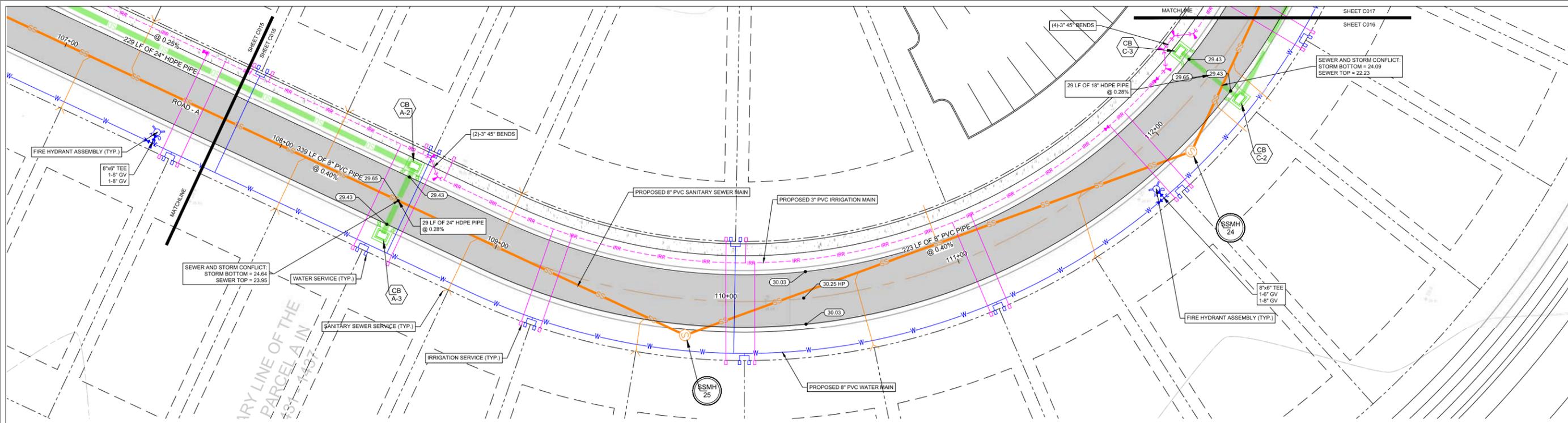


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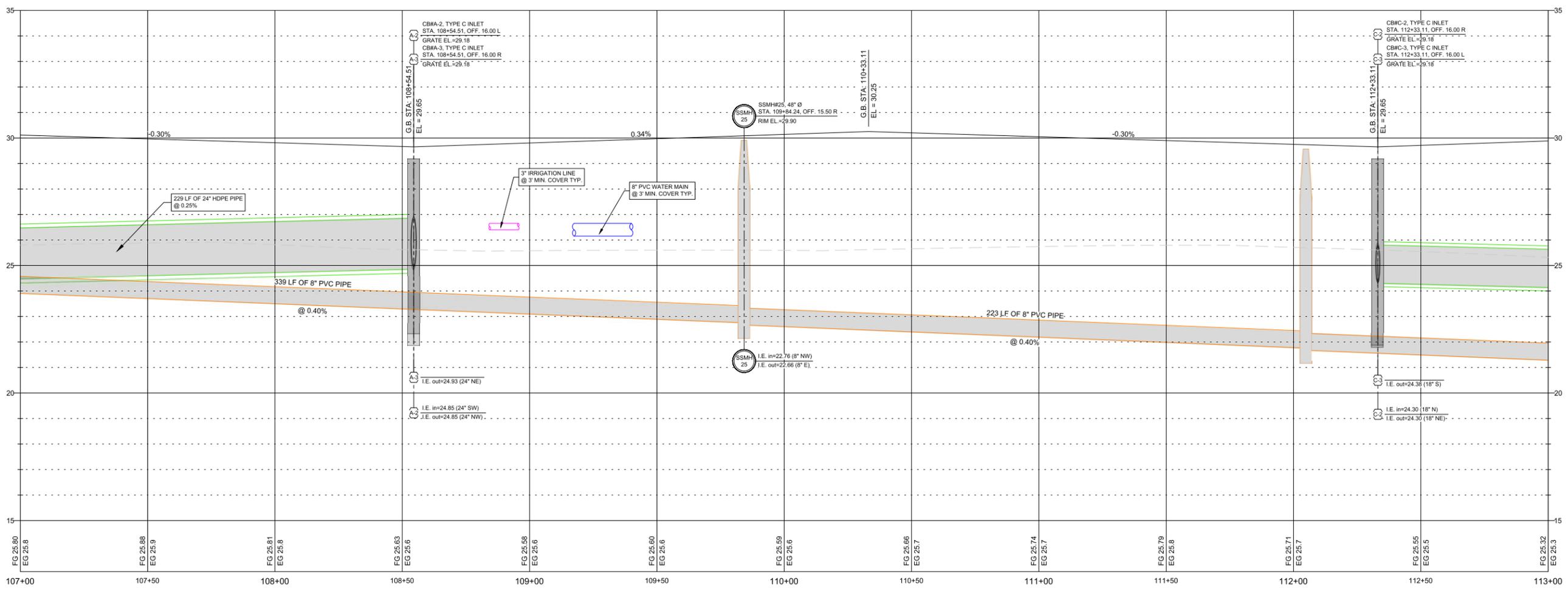
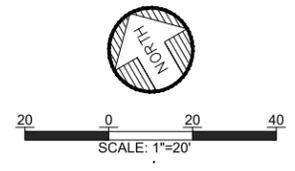
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KAB	2224-1	9-21-23	XXX	2224-1	AS NOTED	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED
 CODE E, BLACK P.E. 66000

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 11/13/2023 10:21:15 AM
 KAB



ROAD A - 107+00 TO 13+00

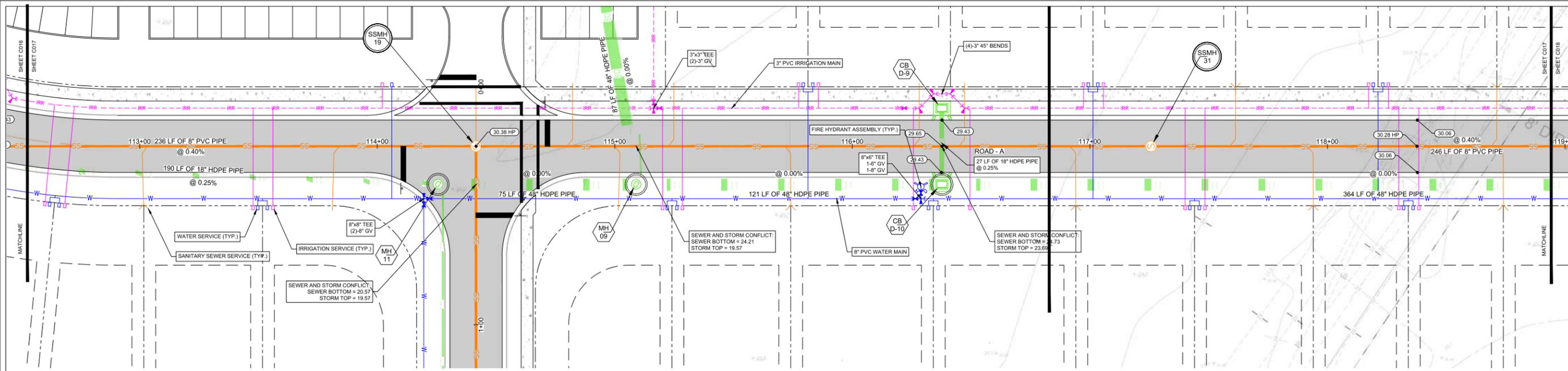


NO.	DATE	REVISION	BY

DESIGNER	FILE	DATE	PROJECT	SCALE	AS NOTED
KAB	2224-1	9-21-23	2224-1	AS NOTED	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED
 CODE T, BLACK P.E. 6600

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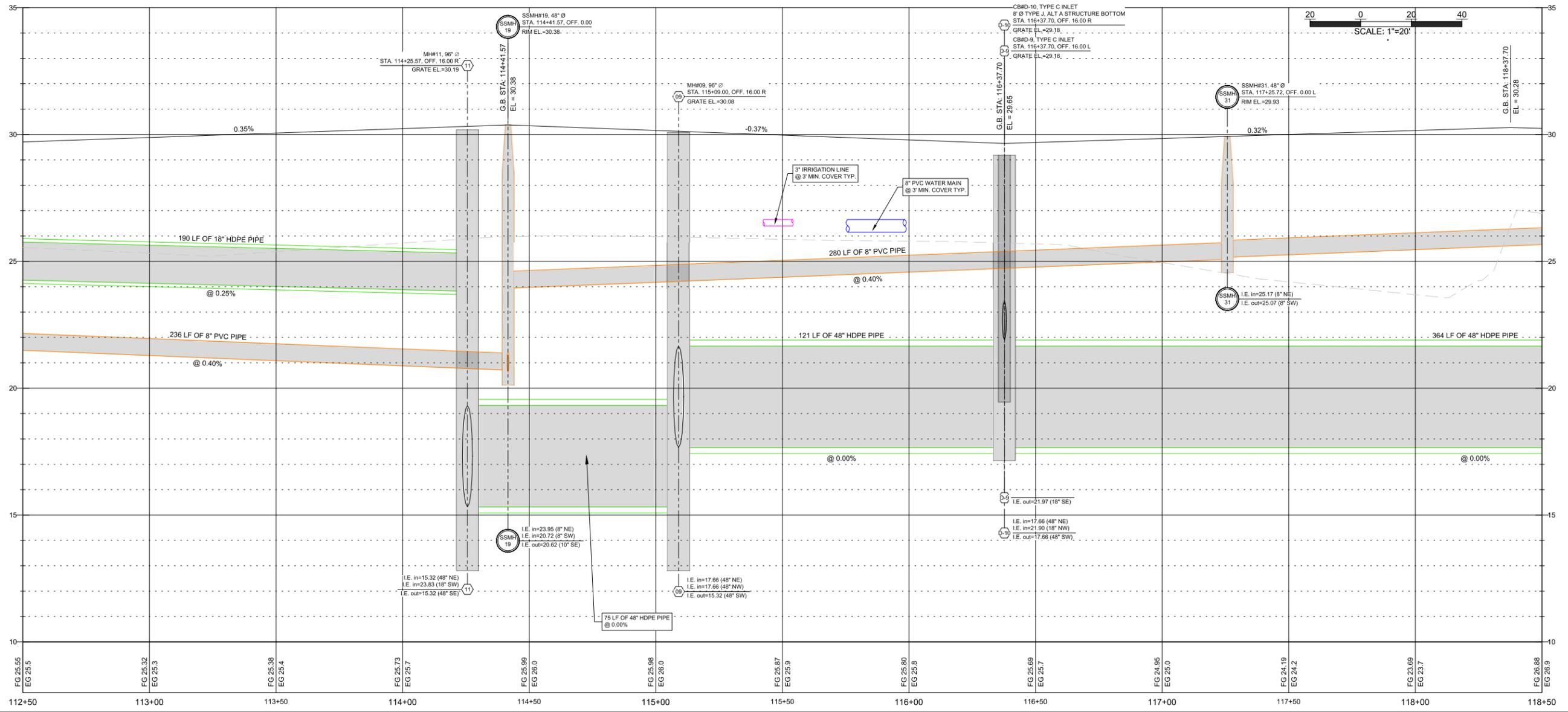


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ROAD A - 112+50 TO 118+50



BROOKSIDE AT ORMOND STATION
 FLAGLER COUNTY, FL
 P&P - ROAD A 112+50 TO 118+50

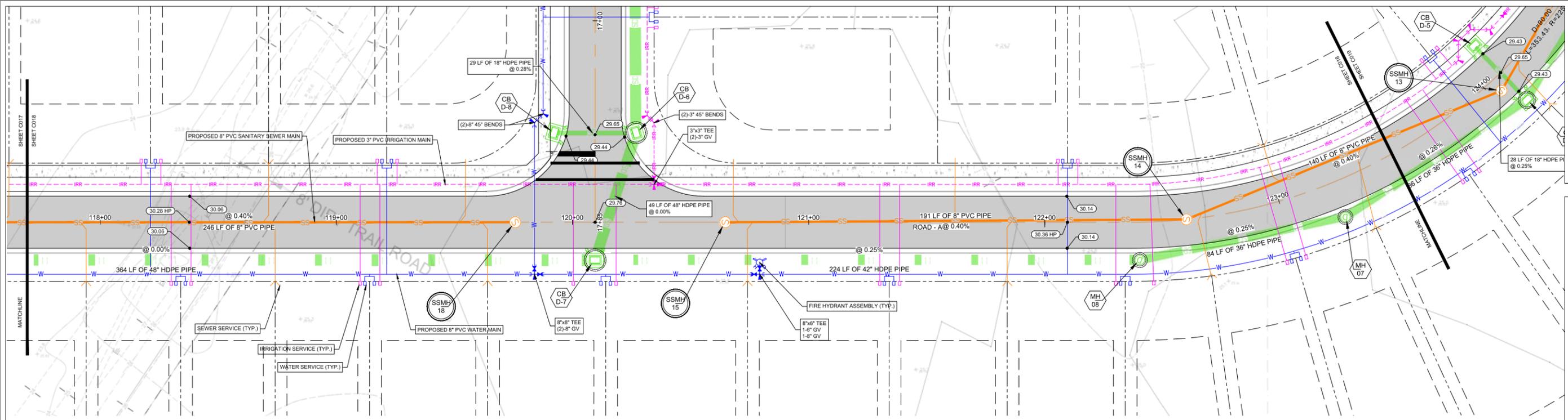


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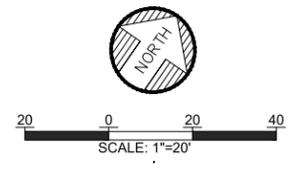
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 CODE E, BLACK P.E. 66000

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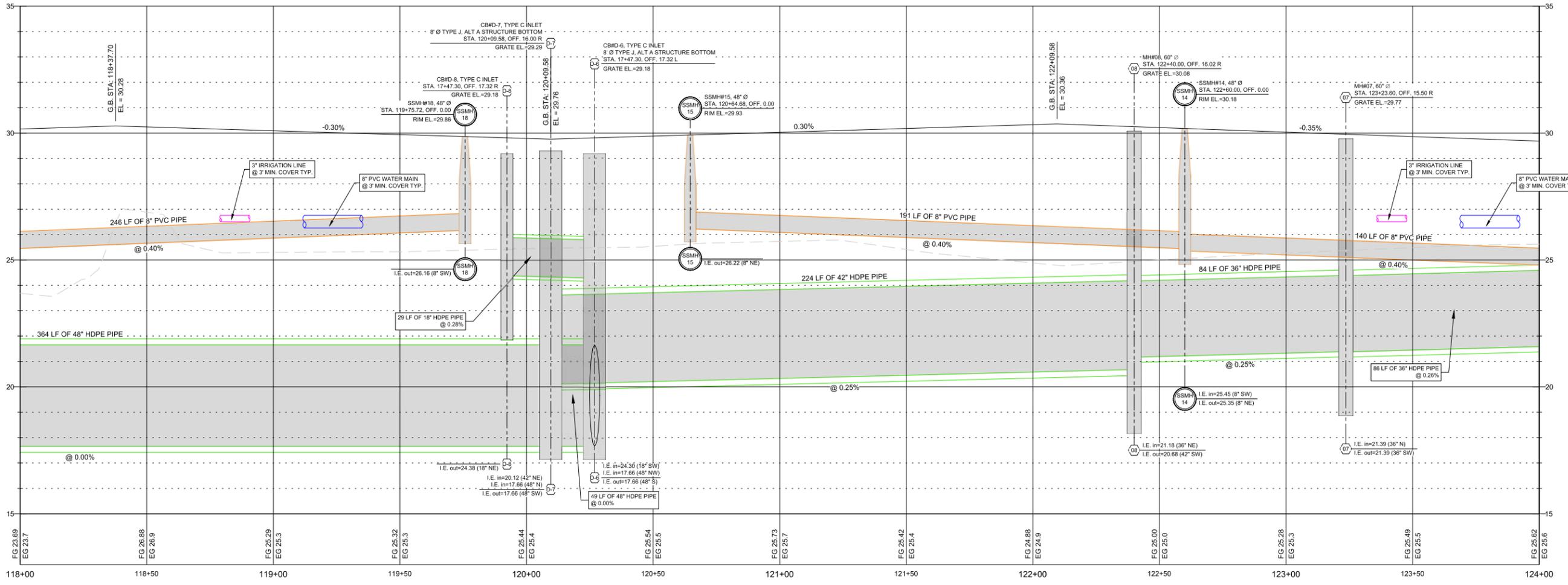


ROAD A - 118+00 TO 124+00



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BROOKSIDE AT ORMOND STATION
FLAGLER COUNTY, FL
P&P - ROAD A 118+00 TO 124+00



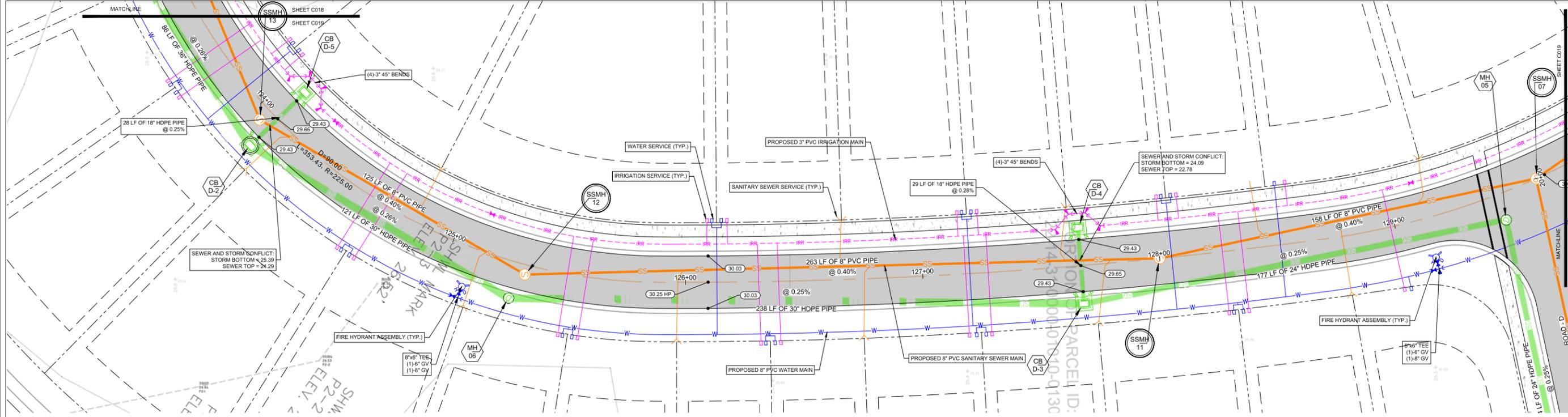
NO.	DATE	REVISION	BY

DESIGNER	KAB	DRAWN BY	XXX
FILE	2224-1	PROJECT	2224-1
DATE	9-21-23	SCALE	AS NOTED

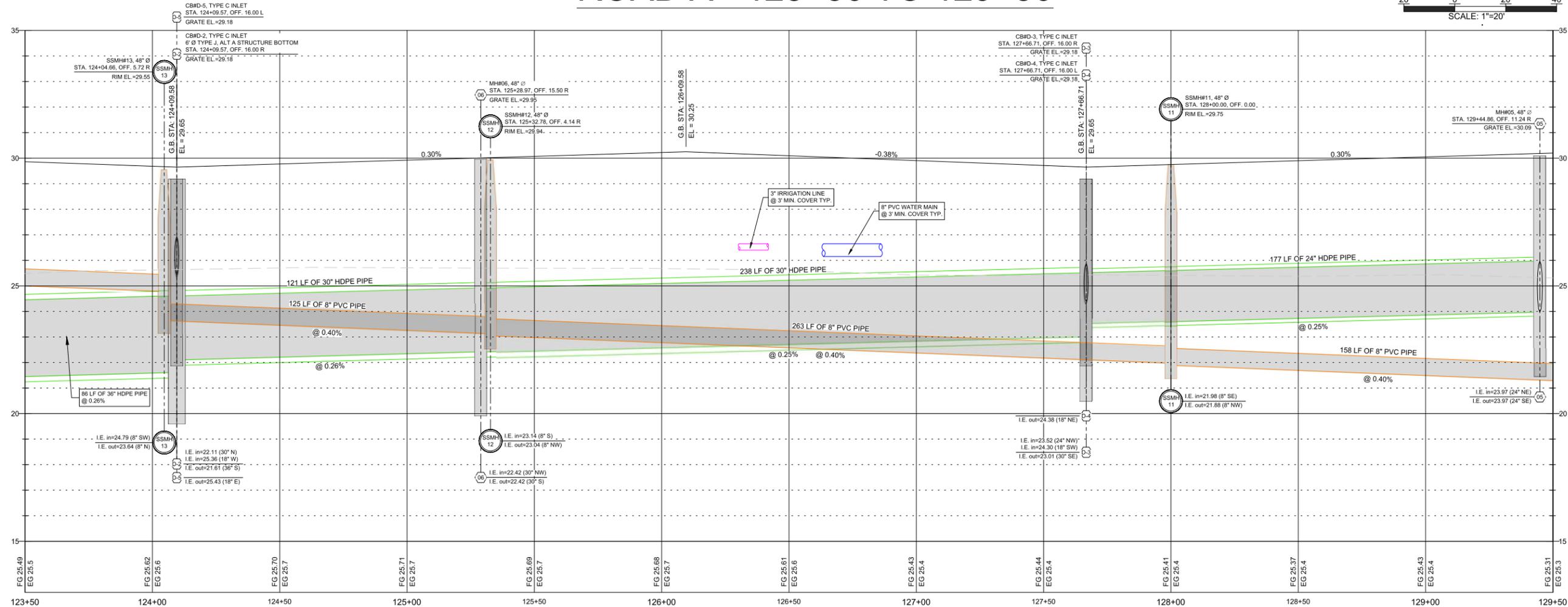
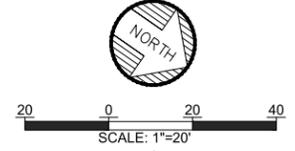
NOT VALID UNLESS SIGNED AND SEALED
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ROAD A - 123+50 TO 129+50

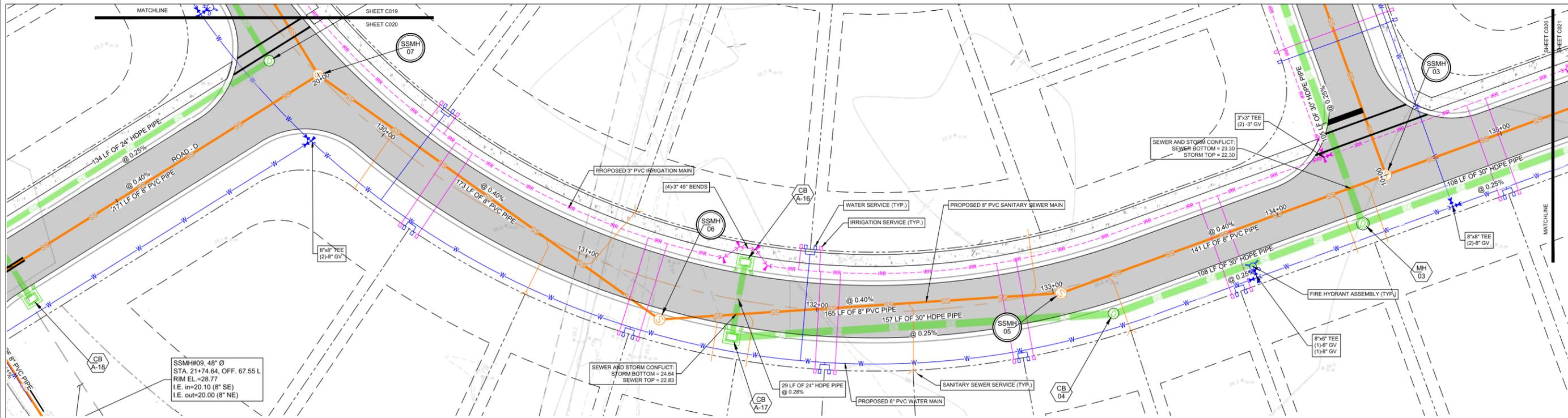


NO.	DATE	REVISION	BY

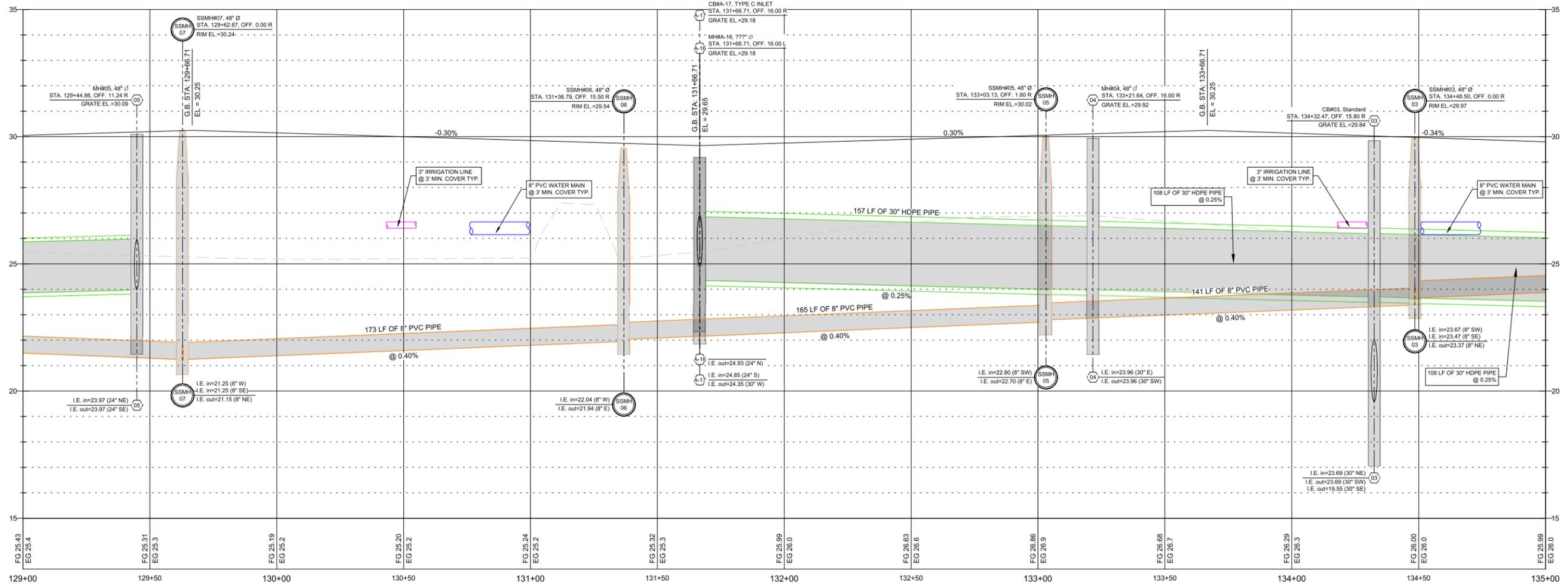
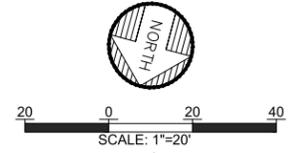
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KAB	2224-1	9-21-23	XXX	2224-1	AS NOTED

NOT VALID UNLESS SIGNED AND SEALED
 CODE T, BOOK F, NUMBER

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ROAD A - 129+00 TO 135+00



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BROOKSIDE AT ORMOND STATION
FLAGLER COUNTY, FL
P&P - ROAD A 129+00 TO 135+00

NO.	DATE	REVISION	BY

DESIGNER	FILE	DATE	DRAWN BY	PROJECT	SCALE
KAB	2224-1	9-21-23	XXX	2224-1	AS NOTED

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 CODE E, SEAL P.E. 6600

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C020