



Modular Home Permit Requirements

FOR CONTRACTORS APPLYING ONLINE

Once approved, items with an asterisk (*) must be printed at scale and made available on the job site by the time of first inspection.

- Notice of Commencement or Affidavit of Notice of Commencement Filing
Only if over \$5,000.00 (Recorded and Certified copy not required until first inspection)
- Copy of recorded deed or Property Appraiser scan showing proof of ownership (if owner does not match the ownership information listed on the Property Appraiser)
- Flagler County Tree Protection Form
LDC section 6.01.03.(A) Index tree protection/replacement requirements. Each single-family residential lot must preserve or replant at least fifty (50) percent of the total pre-development caliper inches existing on the site. Preserved index trees may be substituted for tree planting required by the landscaping section of this Code.
- Flagler County Residential Landscape Form
- Affidavit of Drainage Control
- Right of Way (ROW) permit application with (*) Driveway Plan (Driveway must be flagged or staked for inspector at application stage) **FCC Ordinance 98-04**
- Proof of water and wastewater disposal hookup (Water and sewer receipt from utility company or well and septic tank permit from Environmental Health Dept.)
- Proposed survey Elevation of proposed and existing structures shall be in N.G.V.D.
- (*) Site plan - (in accordance with) Land Development Code section 5.01.04(3) Landscape development standards. - Single family dwellings. Each single- family lot must provide at least one (1) tree per three thousand (3,000) square feet of lot area for the first quarter acre of lot area. For lots exceeding one-quarter (1/4) acre, one (1) tree for every additional one-quarter (1/4) acre, or major fraction thereof, must be preserved or planted. Existing shade trees, sabal palms and pine trees may be used to satisfy this requirement, in whole or in part, provided that they have a minimum caliper of two and one-half (2 1/2) inches DBH and overall height of ten (10) feet. When trees are planted to meet the minimum requirement they must be shade trees meeting the material standards of this section.
- (*) Energy Calculations for Climate Zone 3 and EPL display card
- (*) Department of Community Affairs-approved plans

*** THIS LIST IS INTENDED ONLY AS A GUIDE LINE FOR APPLICATION SUBMITTAL AND MAY OR MAY NOT BE ALL INCLUSIVE***

It is the applicant's responsibility to produce Notice of Commencement as specified in Florida Statute Chapter 713.13. prior to the scheduling of inspections. All inspections must be complete to close out the permit when the project is complete. Failure to close out permits may result in additional fees and/or suspension of rights to obtain additional permits.

In lieu of manually signing and sealing plans, design professionals shall affix digital signatures in compliance with Florida Statutes Chapter 481 and Florida Administrative Rule 61G1-16.005 for architects or Florida Statutes Chapter 471 and Florida Administrative Rule 61G15-23.003 for Engineers. Digital signatures must be original and will be verified. Do not upload scanned/copied plans, they will not be accepted. The following statement must accompany a digital signature "This item has been electronically signed and sealed by (name) on (date) using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies". A digitally created image of the seal must be on the plans for printing purposes.

Plans

1. Each page must contain the digital signature and will require individual upload for each sheet/page.
2. Must be drawn and formatted for a minimum landscape 24" x 36" sheet or 11" x 17" for smaller scale jobs.
3. Are to be submitted in a pdf format only.
4. Each page must have title block to contain the address of the subject property.
5. Plans shall be uploaded properly oriented in landscape mode.
6. Must be drawn to scale
7. Each page of the plans must have a graphic scale.
8. Plans that are digitally signed and sealed cannot be locked (password protected).
9. Plans must include a digitally created image of the seal along with the digital signature and seal (For printing purposes).

Documents

1. Documents must be submitted in pdf format only.
2. Documents shall be submitted in portrait orientation (unless created in landscape mode)

File Naming Convention

Plans

1. Plans are to be **submitted / uploaded as single page files** (do not combine files) and named according to the name of the page. Example: A.1 M.1 E.4 S.2. If the page does not have a naming convention (blank or named 1, 2, 3, 4) please use a description for the name for quick and easy identification. Example: Floor Plan, Elevations, Wall Sections, Pool Plans, etc. **Do NOT add any verbiage in front of the file name- you may add additional verbiage as a suffix.** Identifiers may be the suffix but not used as a prefix.
2. Revisions/ corrections are to be named the SAME NAME as the original document.

Documents

This applies to all documents submitted online, regardless of the phase of the permit (apply, revisions, corrections, supporting documents, etc.)

Documents are to be submitted individually and ***named as identified below***. If a document contains multiple pages, it may be uploaded as a single file. (i.e., energy calculations, etc.)

***** THIS LIST IS INTENDED ONLY AS A GUIDE LINE FOR APPLICATION SUBMITTAL AND MAY OR MAY NOT BE ALL INCLUSIVE*****

It is the applicant's responsibility to produce Notice of Commencement as specified in Florida Statute Chapter 713.13. prior to the scheduling of inspections. All inspections must be complete to close out the permit when the project is complete. Failure to close out permits may result in additional fees and/or suspension of rights to obtain additional permits.

File names should be named in the examples below: (identifiers only as a suffix)

- Boundary survey
- Early power affidavit
- Electrical Calculations
- Elevation certificate
- Energy calculations
- Final Survey
- Foundation Survey
- Landscape plan
- Lot grading plan
- Manufacturer specifications
- Notice of commencement
- Owner disclosure
- Plumbing riser diagram
- Pool calculations
- Product approval
- Proof of ownership
- Recorded warranty deed
- Roof affidavit
- Roofing worksheet
- Septic Tank Permit
- Sewer Receipt
- Site plan
- Shop drawings
- Specification manual
- TDH
- Tenant affidavit
- Topographic survey
- Tree survey
- Tree Protection and Landscape Compliance form
- Truss layout
- Water receipt
- Well permit

General Information

1. Permits utilizing the electronic plan review system must maintain the electronic process throughout the permit application review process. (and vice versa if submitted manually)
2. You may utilize this system to upload and maintain your documents at the packet stage up to 30 days

***** THIS LIST IS INTENDED ONLY AS A GUIDE LINE FOR APPLICATION SUBMITTAL AND MAY OR MAY NOT BE ALL INCLUSIVE*****

It is the applicant's responsibility to produce Notice of Commencement as specified in Florida Statute Chapter 713.13. prior to the scheduling of inspections. All inspections must be complete to close out the permit when the project is complete. Failure to close out permits may result in additional fees and/or suspension of rights to obtain additional permits.

prior to choosing to submit.

3. Your packet will expire in 30 days if you do not choose to submit and will require you to start again when you are ready.
4. Once you submit, if the package is incomplete, you will receive any email outlining the deficiencies and the package will not be accepted.
5. Revisions/corrections cannot be uploaded while reviews are being processed. Once all of the reviews have been completed, you will be able to upload any new plans/documents. The red SUBMIT button must be clicked for your documents to reach us. A revision sheet is not required for upload, one will automatically be generated when you hit SUBMIT.
6. Revisions are to be named the SAME NAME as the original document.
7. When the reviews have been completed, you will receive an email notifying you the permit is ready for issuance.
8. Payments continue to be made online or in person.
9. Job/Inspection card, permit, plans, etc. can be downloaded from the portal.
10. Approved plans are to be at the job site for the inspector.
11. Inspections may be requested through the portal.
12. The certificate of occupancy is also available for print online upon issuance.

***** THIS LIST IS INTENDED ONLY AS A GUIDE LINE FOR APPLICATION SUBMITTAL AND MAY OR MAY NOT BE ALL INCLUSIVE*****

It is the applicant's responsibility to produce Notice of Commencement as specified in Florida Statute Chapter 713.13. prior to the scheduling of inspections. All inspections must be complete to close out the permit when the project is complete. Failure to close out permits may result in additional fees and/or suspension of rights to obtain additional permits.



Flagler County Tree Protection Form

A tree survey, less than twenty-four (24) months old, is required and shall include at a minimum a description of the species, size, quantity and location of all trees and depiction of the site including proposed structures and vehicle use areas. Tree survey shall be prepared by a Florida licensed land surveyor.

I, _____, the undersigned, certify that I am the owner or duly appointed agent for the property described below:

Property Street Address _____ Parcel Number _____

Protected Tree Removal and Protection, LDC §6.01.00

Building footprints, drives, stormwater management facilities, and similar activities on all sites shall be designed to save the maximum practicable number of specimen and historic trees.

Protected Tree: A protected tree is a tree with a **trunk size of six (6) inches** or greater in diameter, free of significant defects or decay. Protected tree replacement shall have a minimum caliper of two and one-half (2 ½) inches measures six (6) inches above grade after planting and be Florida Grade No. 1 or better.

Specimen Tree: Any protected trees with a **trunk size of eighteen (18) inches** or greater in diameter. Specimen tree replacements shall have a minimum caliper of three and one-half (3 ½) inches measures six (6) inches above grade after planting and be Florida Grade No. 1 or better.

Historic Tree: Any protected trees with a **trunk size of thirty-six (36) inches** or greater in diameter. Historic tree replacements shall have a minimum caliper of six (6) inches measured six (6) inches above grade after planting and be Florida Grade No. 1 or better.

Per Flagler County LDC §6.01.4, the following protected trees having a caliper of six (6) inch DBH or greater are protected under the terms of this regulation and also constitute acceptable replacement trees subject to the minimum size requirements:

Ash	Devil's Walking Stick	Sweetbay Magnolia	Southern Red Cedar
Bald Cypress	Elm	Red Maple	Sweetgum
Bay	Hackberry	Oak	American Sycamore
Black Cherry	Hickory	Persimmon	Black Tupelo
Cherry Laurel	Holly	Eastern Redbud	Swamp Tupelo
Pond Cypress	Southern Magnolia	Eastern Red Cedar	Yellow-popular

Residential Tree Protection Compliance, LDC §6.01.03

Each single-family residential lot must preserve or replant at least fifty (50) percent of the total pre-development caliper inches existing on the site.

- Trees located within or immediately adjacent to (within ten (10) feet of the foundation, or where the crown or rootball extend within the limits of the foundation whichever is greater as to its encroachment) the building foundation are exempt.

Tree Category	Pre-devel. Caliper Inches per Tree Category	Minimum Required for each Tree Category (Pre-devel X 50%)	Saved Trees Inches	Planted Replacement Trees Proposed per Minimums Sizes for each Tree Category						Post = Saved + Planted
				Protected 2.5" Caliper		Specimen 3.5" Caliper		Historic 6" Caliper		
				*list corresponding species in table below						
				Count	Total Inches	Count	Total Inches	Count	Total Inches	
Protected (6-17 inch)										
Specimen (18-35 inch)										
Historic (36 inch or greater)										
Total:										

*All tree diameters/calipers measured in inches

Planted Replacement Trees	
Common Name and Quantity of Tree:	Respective Caliper Inches:
<i>Example: 3 Oak</i>	<i>2.5", 2.5", 3.5"</i>
<i>1 Maple</i>	<i>6"</i>
Total:	Total:

Please initial the following statement ONLY if no Protected Trees over 6 inches in caliper exist on the property.

_____ I certify that no protected trees exist on the above-described property for which a building permit is sought.

Please initial the following statement ONLY if no Trees will be removed from the property.

_____ I certify that no trees will be removed on the above-described property for which a building permit is sought.

Please sign below to certify that the above information is true and accurate.

Owner/Agent Signature

Date



Flagler County Residential Landscape Form

Residential Landscape Compliance, LDC §5.01.04(3)

Each single-family lot or parcel must provide at least one (1) tree per two thousand five hundred (2,500) square feet of lot area, excluding any portion within a water body.

- When trees are planted to meet the minimum requirement, they must be shade trees (see list below), have a minimum height of eight (8) feet and a minimum diameter of one and one-half (1 ½) inches measured at four and one-half (4 ½) feet aboveground at the time of planting.
 - Plantings in the *AIA Scenic Corridor* shall have a minimum height of twelve (12) feet and a minimum diameter of four (4) inches measured at six (6) inches above ground at the time of planting
- Existing shade trees, sabal palms and pine trees may be used to satisfy this requirement, in whole or in part, provided they have a minimum caliper of two and one-half (2 ½) inches DBH and overall height of ten (10) feet.

Flagler County Approved Shade Tree List

Square Footage of Lot or Parcel: <i>(example: 10,000 sq ft)</i>			Required Number of Trees: <i>(example: 4 Trees)</i>			
	Existing Quantity	Existing Caliper	Existing Height	Planting Quantity	Planting Caliper	Planting Height
<i>Example:</i>	3	1.5", 2.5", 2.5"	10', 14', 18'	1	2"	8'
Elm, Winged						
Hickory, Pignut						
Magnolia, Southern						
Maple, Red						
Oak, Live						
Southern Red Cedar						
Sweetgum						
Ash, Green						
Cypress, Bald						
Elm, Chinese						
Elm, Drake						
Oak, Shumard						
Pecan						
Sycamore						
Pine Trees						
Sabal Palms*						
Total:						

I, _____, the undersigned, certify that I am the owner or duly appointed agent for the property addressed _____.

Owner/Agent Signature

Date



FLAGLER COUNTY
AFFIDAVIT OF DRAINAGE CONTROL FOR
RESIDENTIAL AND MINOR COMMERCIAL CONSTRUCTION

Building Permit Number:
(OFFICE USE ONLY)

A. OWNER/SITE INFORMATION:

Name of Owner: Phone Number:
Address:
Subdivision Name: Lot Number of Site:
Tax Parcel Number: Section: Township: Range:

B. CERTIFICATE OF COMPLIANCE:

The undersigned owner of the above-described property hereby certifies that development of the above property will not result in:

- 1. Flooding of adjacent lands.
2. Blockage of existing drainage systems, natural or manmade.
3. The destruction of existing drainage systems, natural or manmade.
4. Erosion of fill or disturbed materials onto adjacent lands or environmentally sensitive areas (as determined by Flagler County).
5. The destruction of roadside drainage swales, roadway pavement and/or shoulders.
6. Flooding of the proposed structure during a 100-year frequency storm.
7. Construction to an elevation less than that required by the Flagler County Land Development Code. (Applicant is cautioned UNAUTHORIZED construction may be subject to demolition).
8. Inadequate onsite drainage in the vicinity of the proposed structure.
9. Deviation from the approved grading plan for this property.

C. RELEASE AND AUTHORIZATION:

- 1. The undersigned hereby release and holds harmless the County of Flagler and its authorized agents and/or employees from any and all claims of damage of every kind and nature whatsoever to said property, or contiguous properties, arising from the approval of this application or construction of required improvements.
2. The undersigned hereby grants unto authorized agents and/or employees of the County of Flagler the right to enter upon said property for inspection and enforcement activities. Flagler County reserves the right to require the property owner to implement reasonable measures regarding drainage control including, but not limited to, submittal of signed and sealed engineering drainage plans.

(Signature)

(Printed Name)

State of

County of

Sworn to and Subscribed before me, the Day of, 20 by

who is personally known to me or has produced

as identification.

(Type of Identification)

Signature of Notary Public

Print, Type or Stamp of Notary



**Flagler County Growth Management
Building Services Division**

1769 East Moody Blvd
Bldg 2, Bunnell, FL 32110
386-313-4003

NOTICE OF COMMENCEMENT

PERMIT NUM _____

TAX FOLIO NUM _____

STATE OF FLORIDA
COUNTY OF FLAGLER

THE UNDERSIGNED HEREBY GIVES NOTICE THAT IMPROVEMENT WILL BE MADE TO CERTAIN REAL PROPERTY AND, IN ACCORDANCE WITH CHAPTER 713, FLORIDA STATUTES, THE FOLLOWING INFORMATION IS PROVIDED IN THIS NOTICE OF COMMENCEMENT.

DESCRIPTION OF PROPERTY	_____
DESCRIPTION OF IMPROVEMENT	_____

OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR IMPROVEMENT

NAME	_____	INTEREST IN PROPERTY	_____
ADDRESS	_____		
NAME AND ADDRESS OF FEE SIMPLE TITLEHOLDER - (IF OTHER THAN OWNER)	_____		

CONTRACTOR NAME	_____	PHONE	_____
ADDRESS	_____		

SURETY NAME	_____	PHONE	_____
ADDRESS	_____	BOND AMOUNT	_____

LENDER NAME	_____	PHONE	_____
ADDRESS	_____		

PERSONS WITHIN THE STATE OF FLORIDA DESIGNATED BY OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED BY SECTION 713.13(1)(A)7., FLORIDA STATUTES

NAME	_____	PHONE	_____
ADDRESS	_____		

IN ADDITION TO HIM/HERSELF, OWNER DESIGNATES THE FOLLOWING PERSON(S) TO RECEIVE A COPY OF THE LIENOR'S NOTICE AS PROVIDED IN SECTION 713.13(1)(B), FLORIDA STATUTES

NAME	_____	PHONE	_____
ADDRESS	_____		

EXPIRATION DATE OF NOTICE OF COMMENCEMENT

THE EXPIRATION DATE IS 1 YEAR FROM THE DATE OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED HERE: _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

SIGNATURE OF OWNER OR LESSEE, OR OWNER'S OR LESSEE'S AUTHORIZED OFFICER/DIRECTOR/PARTNER/MANAGER

SIGNATORY'S TITLE / OFFICE

STATE OF FLORIDA COUNTY OF FLAGLER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME, BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION,

THIS _____ DAY OF _____, _____, BY _____
YEAR NAME OF AFFIANT

PERSONALLY KNOWN _____ OR PRODUCED IDENTIFICATION _____

SIGNATURE OF NOTARY PUBLIC STATE OF FLORIDA

PRINT, TYPE OR STAMPED COMMISSIONED NAME OF NOTARY PUBLIC



AFFIDAVIT OF NOTICE OF COMMENCEMENT FILING

I, _____, of
(Owner's Name)

(Street Address)

(City, State and Zip)

hereby certify the attached is a copy of the Notice of Commencement that is being filed with the Clerk of the Circuit Court for the improvement as noted:

(Please specify the improvement/work)

as permitted by Flagler County Building Department.

(Owner's or Contractor's Signature)

(Date)

State of _____

County of _____

Sworn and subscribed before me this _____ day of _____, 20_____

who is personally known to me or produced: _____

as identification.

(Notary Public Signature)

(Seal)

(Printed or Typed Name of Notary)

My Commission Expires: _____



FOR OFFICE USE ONLY
Permit # _____

Right-of-Way Culvert / Driveway

Residential Application Please Submit:

- Two (2) Sets of Driveway Cross Section
- Two (2) Sets of Site Plans on 8 1/2 x 11

Commercial Application Please Submit:

Three (3) Sets of Driveway/Offsite Improvement Plans

IMPORTANT: Instructions on pages 2 & 3 are part of the Permit and must be submitted with application.

<u>Type of Application</u> <small>(check appropriate box)</small>		<u>Name of Utility Company Notified</u> <small>(per Conditions in paragraph 4)</small>
Driveway Apron (Paved or Unpaved) <small>(Circle one)</small> To Unpaved Road To Unpaved Road w/Culvert	Concrete Driveway Apron To Paved Road To Paved Road w/Culvert Pipe	_____ _____ _____ _____ _____

Contractor/Installer: _____ State License _____

Contractor Address: _____ Phone/Fax _____

Applicant Name: _____ Firm Name: _____

Applicant/Owner Address: _____ Phone/Fax _____

Parcel #: _____ Block: _____ Lot: _____

Subdivision: _____

Estimated Job Value \$ _____

REQUIRED CULVERT SPECIFICATIONS 40' FT LONG CONCRETE OR HIGH DENSITY POLYETHELENE (HDPE) WITH *MITRED ENDS. DIAMETER VARIES DUE TO LOCATION.

***MITERED ENDS SPECIFICATION PER FDOT DESIGN STANDARDS INDEX 273 SHEET 2**

www.fdot.gov/rddesign/DS/12/IDx/00273.pdf



FOR OFFICE USE ONLY
Permit # _____

Right-of-Way Culvert / Driveway

Instructions and Conditions

General Information and Instructions:

Complete the application and sign the bottom of page 2 before submitting to Central Permitting. The original application becomes the approved permit when Development Engineering completes the "For Office Use Only" section and the appropriate fees* are paid. Either the permit or a copy thereof must be available at all times at the worksite (where the work is being performed).

*Work Without Permit: Any work that commences without the required permits available on the job site shall be immediately suspended until such time as the required permits have been acquired. A fee for work commenced without a valid permit issued shall be assessed in addition to the normal permit fee. The charge shall be as prescribed by the Board of County Commissioners. Emergency work is excluded from the charge.

PAVERS ARE NOT PERMITTED IN A FLAGLER COUNTY MAINTAINED RIGHT OF WAY.

Conditions:

It is understood and agreed that the rights and privileges herein set out are granted to the extent of the County's right, title and interest in the land to be entered upon and used by the permittee. The permittee shall at all times assume all risk and indemnify, defend and save harmless the County of Flagler from and against all loss, damage, cost or expense arising, in any manner, on account of the exercise or attempted exercise by said permittee of the aforesaid rights and privileges.

Applicant declares that prior to filing this permit he has ascertained the location of all existing utilities, both aerial and underground. The specific names of the agencies that have been notified must be typed or printed in the space provided, for the specific type of utility. It is expressly stipulated that this permit is a license for permissive use only and that the placing of facilities upon public property pursuant to this permit shall not operate to create or to vest any property right in said holder. The construction and/or maintenance of a utility shall not interfere with the property and right of prior occupant or to vest any property right in said holder. The construction and/or maintenance of a utility shall not interfere with the property and right of prior occupant.

In the event of widening, repair or reconstruction of a public road or highway, upon reasonable notice the permittee shall move its facilities to clear such construction at no cost to Flagler County, insofar as such facilities are within the public right-of-way.

The holder of this permit shall take such safety measures, including the placing and display of caution signs and signals as required by the Manual of Traffic Control Devices for Streets and Highways when working in the public right-of-way and shall also prevent any obstructions which are, or may become, dangerous to the traveling public.

Fees will be computed in accordance with the Fee Schedule adopted by the Board of County Commissioners and are payable upon issuance of the permit. For those driveways permitted as part of a Building Permit, a re-inspection fee in the amount stipulated in the Fee Schedule will be assessed if the Applicant requests an Inspection and the work is Incomplete. Sodding in the right-of-way, together with completion of a shoulder, swale, and backslope grading is considered an integral part of the permit.

Construction/Installation Location: _____

Applicant/Owner Signature

Applicant/Owner Title



Right-of-Way Culvert / Driveway

Standard Operating Procedures for Permit Issuance

- All Disturbed areas shall be restored and stabilized prior to Final Engineering Inspection
- No Sidewalks Driveways, roadways, or other surfaces shall be disturbed unless clearly defined on this application
- Concrete must be a minimum of six inches (6") in the right-of-way, four (4") from the right-of-way line into the private property
- The only types of culvert pipe permitted are concrete and high density polyethylene (HDPE), specification sheets must be provided with either type indicating that they meet the Flagler County Right-of-Way utilization ordinance minimum standards
- Concrete that is placed one foot (1') or less from any exterior structure was requires a termite pre-treatment
- Flagler County does allow pavers to be used in the Right-of-Way. However, if a sidewalk exists, it must remain concrete. Below is a list of approved materials suitable for base construction and the required minimum thicknesses delivered directly from the Florida Department of Transportation's Design Standards, Index No. 514. All thicknesses are post-compaction.

Flagler County Right-of-Way

- Pavers – 4 inch (4") 3000 PSI concrete base on compacted subgrade

Non-County Right-of-Way:

- Limerock LBR100 – eight inches (8")
- Graded Aggregate Base LBR100 – nine inches (9")
- Crushed Concrete – eight inches (8")
- Placed Concrete at 3000 PSI – four inches (4")

Concrete Driveway:

Flagler County Right-of-Way:

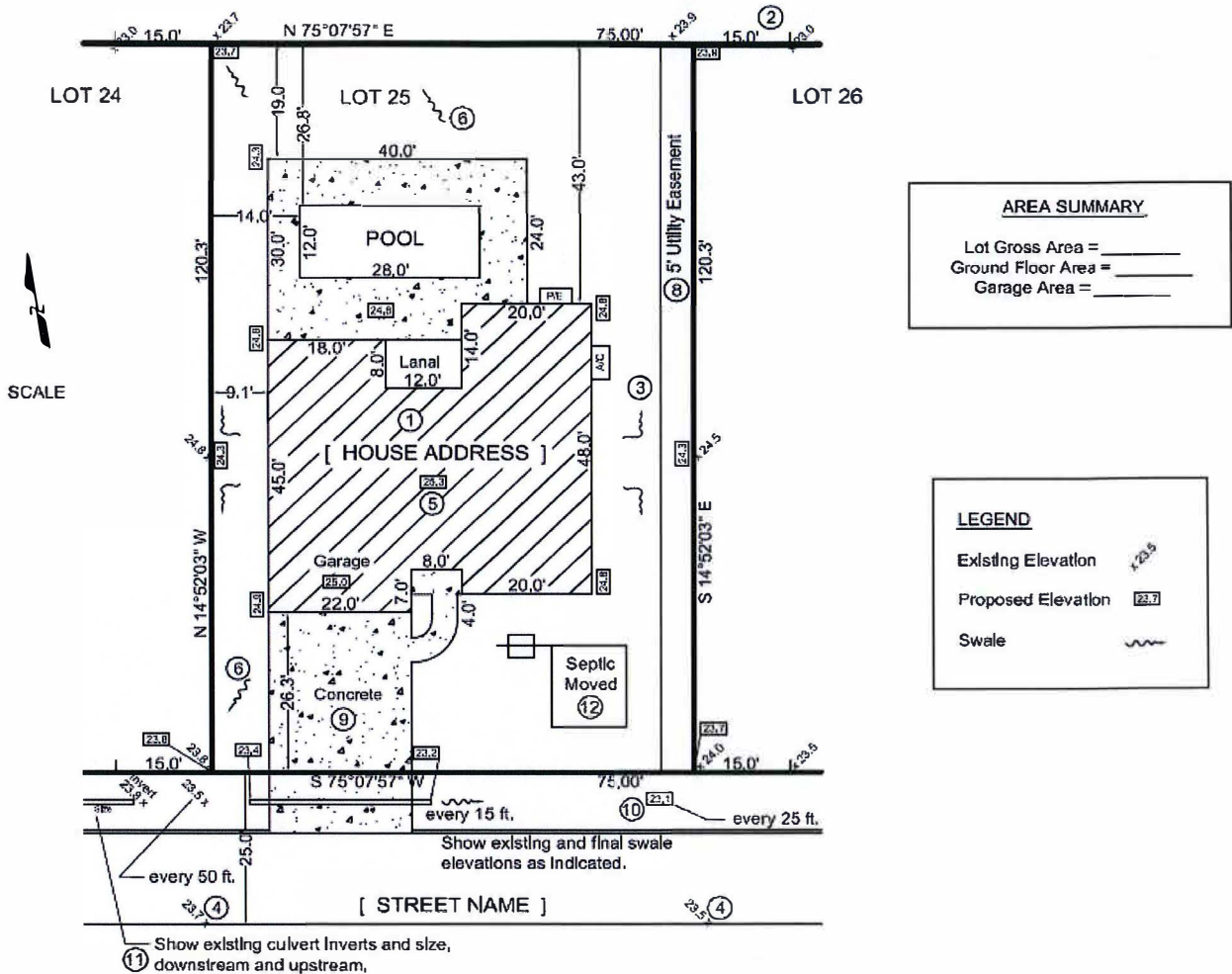
- 6 inch (6") 3000 PSI concrete subgrade or five inch (5") on limerock or crushed concrete base

Non-County Right-of-Way:

- 6 inch (6") 3000 PSI concrete subgrade or five inch (5") on limerock or crushed concrete base

- Specifications
 - Inspections (as applicable)
 - Paver Driveways: Prior to placement of base (verify base thickness and material)
 - Concrete Driveway: When form boards are in place (verify thickness)
 - Temporary Driveway Final
 - Fees
 - Per Fee Schedule

TYPICAL PRELIMINARY PLOT PLAN

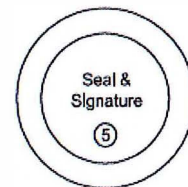


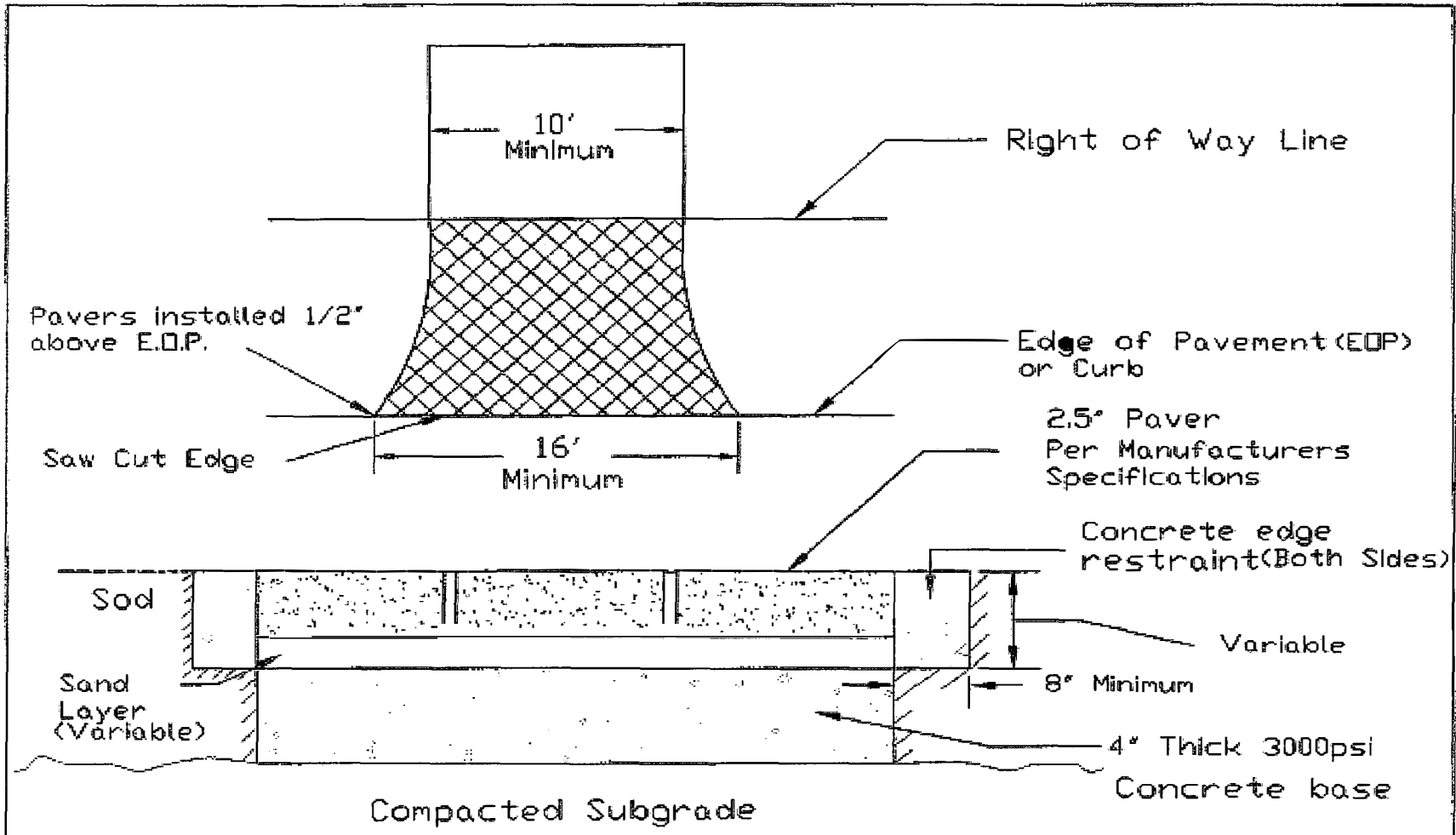
A site plan signed and sealed by a State of Florida registered professional is required. Items to be shown on the site plan are:

1. The location of the proposed structure with dimensions to all property lines, including all slabs, walls, walks, etc.
2. Existing and proposed site and proposed building corner elevations by either contours or sufficient spot elevations and elevations up to 15 feet onto adjoining properties to determine the existing drainage pattern of the site. All elevations are to be given in N.G.V.D. 1929 Datum.
3. Elevations or flow arrows along any existing swale to determine the direction of flow.
4. Road centerline elevations.
5. The proposed finished first floor and garage floor elevations.
6. Flow arrows showing the direction of the proposed site drainage.
7. Flood zone of the site with the Community Panel Number and effective date.
8. All easements affecting the site.
9. The location and dimensions of any proposed driveway, including driveway type, thickness, base material and subgrade.
10. Swale elevations, every 25 feet and 10 feet past the property lines if applicable.
11. Existing adjacent culvert size and invert elevations upstream and downstream if applicable.
12. The location and top elevation of the proposed septic system if applicable.

No alterations to the sealed site plan are permitted.

All information is to be shown on 1 (one) sheet.





Pavers are not permitted in Flagler County owned & maintained ROW

Flagler County
Paver Driveway Detail
N.T.S.

