



# Mobile Home Permit Requirements

## FOR INSTALLERS APPLYING ONLINE

**Once approved, items with an asterisk (\*) must be printed at scale and made available on the job site by the time of first inspection.**

- Mobile Home Application
- Used Mobile Home Checklist
- Flagler County Tree Protection Form  
**LDC Section 6.01.03.(A)** Index tree protection/replacement requirements. - *Single-family dwelling lots*: Each single-family residential lot must preserve or replant at least fifty (50) percent of the total pre-development caliper inches existing on the site. Preserved index trees may be substituted for tree planting required by the landscaping section of this Code.
- Flagler County Residential Landscape Form
- Drainage Affidavit
- Right of Way (ROW) permit application-requires 2 driveway plans & 2 site plans (Driveway must be flagged or staked for inspector at application stage) **FCC Ordinance 98-04**
- Copy of recorded deed or Property Appraiser printout showing proof of ownership (if owner does not match the ownership information listed on the Property Appraiser)
- Proof of water and wastewater disposal hookup (Water and sewer receipt from utility company or well and septic tank permit from Environmental Health Dept)
- Proposed survey Elevation of proposed and existing structures shall be in N.G.V.D.
- (\*) Site plan - (in accordance with) Land Development Code section 5.01.04(3) Landscape development standards. - Single family dwellings. Each single- family lot must provide at least one (1) tree per three thousand (3,000) square feet of lot area for the first quarter acre of lot area. For lots exceeding one-quarter ( 1/4) acre, one (1) tree for every additional one-quarter (1/4) acre, or major fraction thereof, must be preserved or planted. Existing shade trees, sabal palms and pine trees may be used to satisfy this requirement, in whole or in part, provided that they have a minimum caliper of two and one-half (2 1/2) inches DBH and overall height of ten (10) feet. When trees are planted to meet the minimum requirement they must be shade trees meeting the material standards of this section.
- (\*) Pier and tie-down diagram
- (\*) Installation permit signed by the installer
- (\*) Manufacturer's Installation Booklet

**\*\*\* THIS LIST IS INTENDED ONLY AS A GUIDE LINE FOR APPLICATION SUBMITTAL AND MAY OR MAY NOT BE ALL INCLUSIVE\*\*\***

**It is the applicant's responsibility to produce Notice of Commencement as specified in Florida Statute Chapter 713.13. prior to the scheduling of inspections. All inspections must be complete to close out the permit when the project is complete. Failure to close out permits may result in additional fees and/or suspension of rights to obtain additional permits.**

In lieu of manually signing and sealing plans, design professionals shall affix digital signatures in compliance with Florida Statutes Chapter 481 and Florida Administrative Rule 61G1-16.005 for architects or Florida Statutes Chapter 471 and Florida Administrative Rule 61G15-23.003 for Engineers. Digital signatures must be original and will be verified. Do not upload scanned/copied plans, they will not be accepted. The following statement must accompany a digital signature "This item has been electronically signed and sealed by (name) on (date) using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies". A digitally created image of the seal must be on the plans for printing purposes.

### **Plans**

1. Each page must contain the digital signature and will require individual upload for each sheet/page.
2. Must be drawn and formatted for a minimum landscape 24" x 36" sheet or 11" x 17" for smaller scale jobs.
3. Are to be submitted in a pdf format only.
4. Each page must have title block to contain the address of the subject property.
5. Plans shall be uploaded properly oriented in landscape mode.
6. Must be drawn to scale
7. Each page of the plans must have a graphic scale.
8. Plans that are digitally signed and sealed cannot be locked (password protected).
9. Plans must include a digitally created image of the seal along with the digital signature and seal (For printing purposes).

### **Documents**

1. Documents must be submitted in pdf format only.
2. Documents shall be submitted in portrait orientation (unless created in landscape mode)

### **File Naming Convention**

#### **Plans**

1. Plans are to be **submitted / uploaded as single page files** (do not combine files) and named according to the name of the page. Example: A.1 M.1 E.4 S.2. If the page does not have a naming convention (blank or named 1, 2, 3, 4) please use a description for the name for quick and easy identification. Example: Floor Plan, Elevations, Wall Sections, Pool Plans, etc. **Do NOT add any verbiage in front of the file name- you may add additional verbiage as a suffix.** Identifiers may be the suffix but not used as a prefix.
2. Revisions/ corrections are to be named the SAME NAME as the original document.

#### **Documents**

This applies to all documents submitted online, regardless of the phase of the permit (apply, revisions, corrections, supporting documents, etc.)

Documents are to be submitted individually and ***named as identified below***. If a document contains multiple pages, it may be uploaded as a single file. (i.e., energy calculations, etc.)

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File names should be named in the examples below: (identifiers only as a suffix)

- Boundary survey
- Early power affidavit
- Electrical Calculations
- Elevation certificate
- Energy calculations
- Final Survey
- Foundation Survey
- Landscape plan
- Lot grading plan
- Manufacturer specifications
- Notice of commencement
- Owner disclosure
- Plumbing riser diagram
- Pool calculations
- Product approval
- Proof of ownership
- Recorded warranty deed
- Roof affidavit
- Roofing worksheet
- Septic Tank Permit
- Sewer Receipt
- Site plan
- Shop drawings
- Specification manual
- TDH
- Tenant affidavit
- Topographic survey
- Tree survey
- Tree Protection and Landscape Compliance form
- Truss layout
- Water receipt
- Well permit

### **General Information**

1. Permits utilizing the electronic plan review system must maintain the electronic process throughout the permit application review process. (and vice versa if submitted manually)
2. You may utilize this system to upload and maintain your documents at the packet stage up to 30 days

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prior to choosing to submit.

3. Your packet will expire in 30 days if you do not choose to submit and will require you to start again when you are ready.
4. Once you submit, if the package is incomplete, you will receive any email outlining the deficiencies and the package will not be accepted.
5. Revisions/corrections cannot be uploaded while reviews are being processed. Once all of the reviews have been completed, you will be able to upload any new plans/documents. The red SUBMIT button must be clicked for your documents to reach us. A revision sheet is not required for upload, one will automatically be generated when you hit SUBMIT.
6. Revisions are to be named the SAME NAME as the original document.
7. When the reviews have been completed, you will receive an email notifying you the permit is ready for issuance.
8. Payments continue to be made online or in person.
9. Job/Inspection card, permit, plans, etc. can be downloaded from the portal.
10. Approved plans are to be at the job site for the inspector.
11. Inspections may be requested through the portal.
12. The certificate of occupancy is also available for print online upon issuance.

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**PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION**

Installer Is To Provide Two Applications For Permit. Fill Out The Applicable Information And Sign Affidavit Below For Permit Application.

Permit # \_\_\_\_\_

Applicant \_\_\_\_\_  
Address \_\_\_\_\_  
\_\_\_\_\_

Dealer / Installer \_\_\_\_\_  
License Number \_\_\_\_\_  
Installation Decal No \_\_\_\_\_

**Manufacturer's Name** \_\_\_\_\_

Roof Zone \_\_\_\_\_ Wind Zone \_\_\_\_\_  
Number Of Sections \_\_\_\_\_ WIDTH \_\_\_\_\_ LENGTH \_\_\_\_\_ YEAR \_\_\_\_\_ SERIAL No \_\_\_\_\_  
Installation Standard Used (Check One) MANUFACTURERS MANUAL \_\_\_\_\_ 15C-1 \_\_\_\_\_  
Floor Plan \_\_\_\_\_ Marriage Wall Plan \_\_\_\_\_ Shear Wall Plan \_\_\_\_\_

**Plans Must Have True Dimensions, Manufactures Name, Wind Zone And Model Number On Plan.**

**SITE PREPARATION**

Debris And Organic Materials Removal \_\_\_\_\_ Compacted Fill \_\_\_\_\_ PAGE # \_\_\_\_\_  
Water Drainage: Neutral \_\_\_\_\_ Swale \_\_\_\_\_ Pad \_\_\_\_\_ Other \_\_\_\_\_ PAGE # \_\_\_\_\_

**FOUNDATION:**

Load Bearing Soil Capacity \_\_\_\_\_ Or Assumed 1000 PSF \_\_\_\_\_ PAGE # \_\_\_\_\_  
Footing Type: Poured In Place \_\_\_\_\_ Portable \_\_\_\_\_ Size And Thickness \_\_\_\_\_ PAGE # \_\_\_\_\_  
I-Beam Or Mainrail Piers: Single Tiered \_\_\_\_\_ Double Interlocked \_\_\_\_\_ PAGE # \_\_\_\_\_  
Size Of Piers: \_\_\_\_\_ Placement O/C \_\_\_\_\_ PAGE # \_\_\_\_\_  
Perimeter Pier Blocking: Size \_\_\_\_\_ Placement O/C \_\_\_\_\_ PAGE # \_\_\_\_\_  
Ridge Beam Support Blocking: Size \_\_\_\_\_ Number \_\_\_\_\_ Location (s) \_\_\_\_\_ PAGE # \_\_\_\_\_  
Ridge Beam Support Footer: Size \_\_\_\_\_ Number \_\_\_\_\_ Location (s) \_\_\_\_\_ PAGE # \_\_\_\_\_  
Center Line Blocking: Size \_\_\_\_\_ Number \_\_\_\_\_ Location (s) \_\_\_\_\_ PAGE # \_\_\_\_\_  
Special Pier Blocking Required (Fireplace, Bay Window, Etc.) Yes \_\_\_\_\_ No \_\_\_\_\_ PAGE # \_\_\_\_\_  
Mating Of Multiple Units: Mating Gasket \_\_\_\_\_ Type Used \_\_\_\_\_ PAGE # \_\_\_\_\_

**FASTENER:**

ROOFS Type And Size \_\_\_\_\_ Spacing \_\_\_\_\_ O/C \_\_\_\_\_ PAGE # \_\_\_\_\_  
ENDWALLS Type And Size \_\_\_\_\_ Spacing \_\_\_\_\_ O/C \_\_\_\_\_ PAGE # \_\_\_\_\_  
FLOORS Type And Size \_\_\_\_\_ Spacing \_\_\_\_\_ O/C \_\_\_\_\_ PAGE # \_\_\_\_\_

**ANCHORS:**

Type: 3150 Working Load \_\_\_\_\_ 4000 Working Load \_\_\_\_\_ PAGE # \_\_\_\_\_  
Height Of Units: ( Top Of Foundation Or Footer To Bottom Of Frame ) \_\_\_\_\_ PAGE # \_\_\_\_\_  
Number Of Frame Ties: \_\_\_\_\_ Spacing \_\_\_\_\_ O/C \_\_\_\_\_ Angle Of strap \_\_\_\_\_ Degrees \_\_\_\_\_ PAGE # \_\_\_\_\_  
Number Of Over Roof Ties: (If Required) \_\_\_\_\_ PAGE # \_\_\_\_\_  
Number Of Sidewall Anchors: \_\_\_\_\_ Zone II \_\_\_\_\_ Zone III \_\_\_\_\_ PAGE # \_\_\_\_\_  
Number Of Centerline Anchors: \_\_\_\_\_ Number Of Stabilizer Devices \_\_\_\_\_ PAGE # \_\_\_\_\_  
Vents Required For Underpinning (1 SF/150 SF Of Floor Area) Number \_\_\_\_\_ PAGE # \_\_\_\_\_

**CLASS OF SOIL:**

Type 1 \_\_\_\_\_ Type 2 \_\_\_\_\_ Less Than 175 PSI \_\_\_\_\_

Installer Verifies The Above Information Is Accurate And True Based On Recognized Field Testing Methods.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**PERMIT WORKSHEET**

**PERMIT NUMBER** \_\_\_\_\_

Installer \_\_\_\_\_ License # \_\_\_\_\_

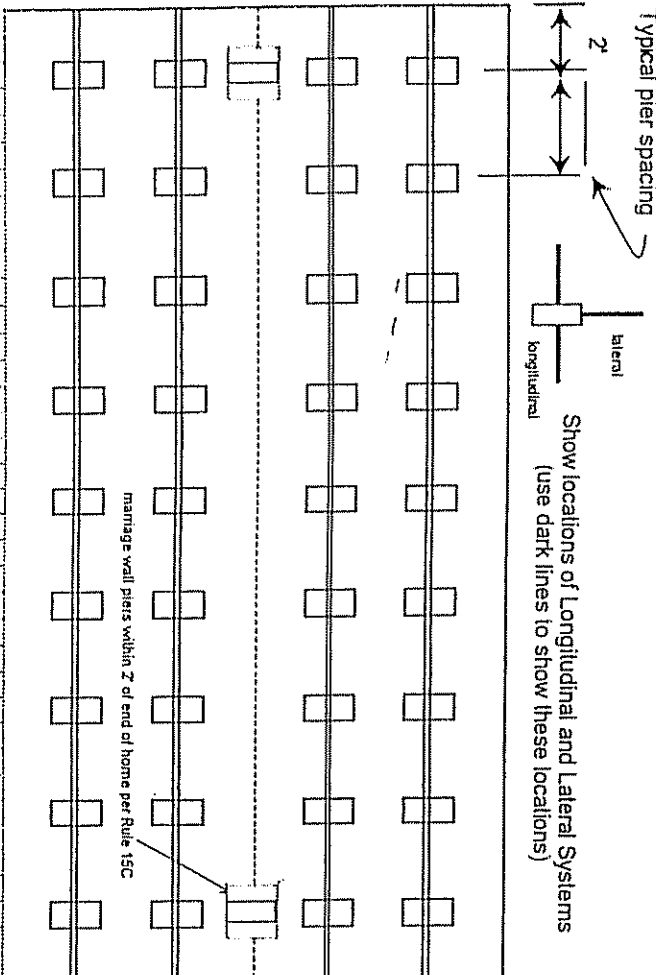
Address of home being installed \_\_\_\_\_

Manufacturer \_\_\_\_\_ Length x width \_\_\_\_\_

**NOTE:** *if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home*

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall lies exceed 5 ft 4 in.

Installer's initials \_\_\_\_\_



New Home  Used Home

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide  Wind Zone II  Wind Zone III

Double wide  Installation Decal # \_\_\_\_\_

Triple/Quad  Serial # \_\_\_\_\_

**PIER SPACING TABLE FOR USED HOMES**

Load bearing capacity (sq in)	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" X 24" (576)	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4'6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

Interpolated from Rule 15C-1 pier spacing table.

**PIER PAD SIZES**

I-beam pier pad size \_\_\_\_\_

Perimeter pier pad size \_\_\_\_\_

Other pier pad sizes (required by the mfg.) \_\_\_\_\_

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening \_\_\_\_\_ Pier pad size \_\_\_\_\_

**POPULAR PAD SIZES**

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

**ANCHORS**

4 fl \_\_\_\_\_ 5 fl \_\_\_\_\_

**FRAME TIES**

within 2' of end of home spaced at 5' 4" oc \_\_\_\_\_

**OTHER TIES**

Number \_\_\_\_\_

- Longitudinal Stabilizing Device (LSD) \_\_\_\_\_
- Manufacturer \_\_\_\_\_
- Longitudinal Stabilizing Device w/ Lateral Arms \_\_\_\_\_
- Manufacturer \_\_\_\_\_
- Sidewall \_\_\_\_\_
- Longitudinal Marriage wall \_\_\_\_\_
- Shearwall \_\_\_\_\_

PERMIT NUMBER \_\_\_\_\_

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf or check here to declare 1000 lb. soil \_\_\_\_\_ without testing.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

TORQUE PROBE TEST

The results of the torque probe test is \_\_\_\_\_ inch pounds or check here if you are declaring 5' anchors without testing \_\_\_\_\_ A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline the points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity. \_\_\_\_\_ Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name \_\_\_\_\_

Date Tested \_\_\_\_\_

Electrical \_\_\_\_\_

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. \_\_\_\_\_

Plumbing \_\_\_\_\_

Connect all sewer drains to an existing sewer tap or septic tank. Pg. \_\_\_\_\_

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. \_\_\_\_\_

Site Preparation

Debris and organic material removed \_\_\_\_\_ Pad \_\_\_\_\_ Other \_\_\_\_\_  
Water drainage: Natural \_\_\_\_\_ Swale \_\_\_\_\_

Fastening multi wide units

Floor: Type Fastener: \_\_\_\_\_ Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
 Walls: Type Fastener: \_\_\_\_\_ Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
 Roof: Type Fastener: \_\_\_\_\_ Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
 For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials \_\_\_\_\_

Type gasket \_\_\_\_\_ Installed: \_\_\_\_\_  
Pg. \_\_\_\_\_ Between Floors Yes \_\_\_\_\_  
Between Walls Yes \_\_\_\_\_  
Bottom of ridgebeam Yes \_\_\_\_\_

Weatherproofing

The bottomboard will be repaired and/or taped. Yes \_\_\_\_\_ Pg. \_\_\_\_\_  
Siding on units is installed to manufacturer's specifications. Yes \_\_\_\_\_  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes \_\_\_\_\_

Miscellaneous

Skirting to be installed. Yes \_\_\_\_\_ No \_\_\_\_\_  
Dyer vent installed outside of skirting. Yes \_\_\_\_\_ N/A \_\_\_\_\_  
Range downflow vent installed outside of skirting. Yes \_\_\_\_\_ N/A \_\_\_\_\_  
Drain lines supported at 4 foot intervals. Yes \_\_\_\_\_  
Electrical crossovers protected. Yes \_\_\_\_\_  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and Or Rule 15C-1 & 2

Installer Signature \_\_\_\_\_ Date \_\_\_\_\_



## Used Mobile Home Checklist

Transaction number: \_\_\_\_\_

Current Location: \_\_\_\_\_

Permit Number: \_\_\_\_\_

Owners Name: \_\_\_\_\_

Make/Year: \_\_\_\_\_

Serial Number: \_\_\_\_\_ Wind Zone: \_\_\_\_\_

Mileage: \_\_\_\_\_ Date: \_\_\_\_\_

### **Structural Requirements:**

Used mobile homes shall meet the following standards:

1. Exterior exit doors, including sliding glass doors, shall be in good and safe working order.  
 Approved  Disapproved
2. Exterior doors shall have safe and operable locks.  
 Approved  Disapproved
3. All used mobile homes shall have operable egress windows or an exterior egress door located in each sleeping room, as required in sections 3280.106 and 3280.404(b)(3) and (4)(vi) of the HUD manufactured home construction and safety standards.  
 Approved  Disapproved
4. All windows and operators shall be safe and operable and all glass in place.  
 Approved  Disapproved
5. Screens shall be on each window.  
 Approved  Disapproved
6. All floors shall be of solid decking. All holes or damaged floors caused by leaks or broken decking shall be replaced or repaired, as needed.  
 Approved  Disapproved
7. All interior wall coverings shall be in place.  
 Approved  Disapproved
8. The bottom board covering the underside of the floor joist shall be insect-proof and rodent-proof throughout, and securely sealed.  
 Approved  Disapproved
9. The roof shall be in good condition with no apparent leaks.  
 Approved  Disapproved
10. The installation of the tie downs must be in accordance with the Mobile/Manufactured Home Installation Standards as established by the Bureau of Mobile Home/RV Construction or the manufacturer's specifications for the specific unit.  
 Approved  Disapproved
11. The exterior wall covering shall be as necessary to prevent the entrance of water.  
 Approved  Disapproved







**Residential Tree Protection Compliance, LDC §6.01.03**

Each single-family residential lot must preserve or replant at least fifty (50) percent of the total pre-development caliper inches existing on the site.

- Trees located within or immediately adjacent to (within ten (10) feet of the foundation, or where the crown or rootball extend within the limits of the foundation whichever is greater as to its encroachment) the building foundation are exempt.

Tree Category	Pre-devel. Caliper Inches per Tree Category	Minimum Required for each Tree Category (Pre-devel X 50%)	Saved Trees Inches	Planted Replacement Trees Proposed per Minimums Sizes for each Tree Category						Post = Saved + Planted
				Protected 2.5" Caliper		Specimen 3.5" Caliper		Historic 6" Caliper		
				*list corresponding species in table below						
				Count	Total Inches	Count	Total Inches	Count	Total Inches	
Protected (6-17 inch)										
Specimen (18-35 inch)										
Historic (36 inch or greater)										
<b>Total:</b>										

\*All tree diameters/calipers measured in inches

Planted Replacement Trees	
Common Name and Quantity of Tree:	Respective Caliper Inches:
<i>Example: 3 Oak</i>	<i>2.5", 2.5", 3.5"</i>
<i>1 Maple</i>	<i>6"</i>
<b>Total:</b>	<b>Total:</b>

**Please initial the following statement ONLY if no Protected Trees over 6 inches in caliper exist on the property.**

\_\_\_\_\_ I certify that no protected trees exist on the above-described property for which a building permit is sought.

**Please initial the following statement ONLY if no Trees will be removed from the property.**

\_\_\_\_\_ I certify that no trees will be removed on the above-described property for which a building permit is sought.

**Please sign below to certify that the above information is true and accurate.**

\_\_\_\_\_  
Owner/Agent Signature

\_\_\_\_\_  
Date



## Flagler County Residential Landscape Form

### Residential Landscape Compliance, LDC §5.01.04(3)

**Each single-family lot or parcel must provide at least one (1) tree per two thousand five hundred (2,500) square feet of lot area, excluding any portion within a water body.**

- When trees are planted to meet the minimum requirement, they must be shade trees (see list below), have a minimum height of eight (8) feet and a minimum diameter of one and one-half (1 ½) inches measured at four and one-half (4 ½) feet aboveground at the time of planting.
  - Plantings in the *AIA Scenic Corridor* shall have a minimum height of twelve (12) feet and a minimum diameter of four (4) inches measured at six (6) inches above ground at the time of planting
- Existing shade trees, sabal palms and pine trees may be used to satisfy this requirement, in whole or in part, provided they have a minimum caliper of two and one-half (2 ½) inches DBH and overall height of ten (10) feet.

### Flagler County Approved Shade Tree List

Square Footage of Lot or Parcel: <i>(example: 10,000 sq ft)</i>			Required Number of Trees: <i>(example: 4 Trees)</i>			
	Existing Quantity	Existing Caliper	Existing Height	Planting Quantity	Planting Caliper	Planting Height
<i>Example:</i>	3	1.5", 2.5", 2.5"	10', 14', 18'	1	2"	8'
Elm, Winged						
Hickory, Pignut						
Magnolia, Southern						
Maple, Red						
Oak, Live						
Southern Red Cedar						
Sweetgum						
Ash, Green						
Cypress, Bald						
Elm, Chinese						
Elm, Drake						
Oak, Shumard						
Pecan						
Sycamore						
Pine Trees						
Sabal Palms*						
<b>Total:</b>						

I, \_\_\_\_\_, the undersigned, certify that I am the owner or duly appointed agent for the property addressed \_\_\_\_\_.

\_\_\_\_\_  
Owner/Agent Signature

\_\_\_\_\_  
Date



FLAGLER COUNTY
AFFIDAVIT OF DRAINAGE CONTROL FOR
RESIDENTIAL AND MINOR COMMERCIAL CONSTRUCTION

Building Permit Number:
(OFFICE USE ONLY)

A. OWNER/SITE INFORMATION:

Name of Owner: Phone Number:
Address:
Subdivision Name: Lot Number of Site:
Tax Parcel Number: Section: Township: Range:

B. CERTIFICATE OF COMPLIANCE:

The undersigned owner of the above-described property hereby certifies that development of the above property will not result in:

- 1. Flooding of adjacent lands.
2. Blockage of existing drainage systems, natural or manmade.
3. The destruction of existing drainage systems, natural or manmade.
4. Erosion of fill or disturbed materials onto adjacent lands or environmentally sensitive areas (as determined by Flagler County).
5. The destruction of roadside drainage swales, roadway pavement and/or shoulders.
6. Flooding of the proposed structure during a 100-year frequency storm.
7. Construction to an elevation less than that required by the Flagler County Land Development Code. (Applicant is cautioned UNAUTHORIZED construction may be subject to demolition).
8. Inadequate onsite drainage in the vicinity of the proposed structure.
9. Deviation from the approved grading plan for this property.

C. RELEASE AND AUTHORIZATION:

- 1. The undersigned hereby release and holds harmless the County of Flagler and its authorized agents and/or employees from any and all claims of damage of every kind and nature whatsoever to said property, or contiguous properties, arising from the approval of this application or construction of required improvements.
2. The undersigned hereby grants unto authorized agents and/or employees of the County of Flagler the right to enter upon said property for inspection and enforcement activities. Flagler County reserves the right to require the property owner to implement reasonable measures regarding drainage control including, but not limited to, submittal of signed and sealed engineering drainage plans.

(Signature)

(Printed Name)

State of

County of

Sworn to and Subscribed before me, the Day of, 20 by

who is personally known to me or has produced

as identification.

(Type of Identification)

Signature of Notary Public

Print, Type or Stamp of Notary



FOR OFFICE USE ONLY  
Permit # \_\_\_\_\_

# Right-of-Way Culvert / Driveway

### Residential Application Please Submit:

- Two (2) Sets of Driveway Cross Section
- Two (2) Sets of Site Plans on 8 1/2 x 11

### Commercial Application Please Submit:

Three (3) Sets of Driveway/Offsite Improvement Plans

**IMPORTANT: Instructions on pages 2 & 3 are part of the Permit and must be submitted with application.**

<u>Type of Application</u> <small>(check appropriate box)</small>		<u>Name of Utility Company Notified</u> <small>(per Conditions in paragraph 4)</small>
<b>Driveway Apron (Paved or Unpaved)</b> <small>(Circle one)</small>	<b>Concrete Driveway Apron</b>	_____
To Unpaved Road	To Paved Road	_____
To Unpaved Road w/Culvert	To Paved Road w/Culvert Pipe	_____
		_____
		_____

Contractor/Installer: \_\_\_\_\_ State License \_\_\_\_\_

Contractor Address: \_\_\_\_\_ Phone/Fax \_\_\_\_\_

Applicant Name: \_\_\_\_\_ Firm Name: \_\_\_\_\_

Applicant/Owner Address: \_\_\_\_\_ Phone/Fax \_\_\_\_\_

Parcel #: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Estimated Job Value \$ \_\_\_\_\_

REQUIRED CULVERT SPECIFICATIONS 40' FT LONG CONCRETE OR HIGH DENSITY POLYETHELENE (HDPE) WITH \*MITRED ENDS. DIAMETER VARIES DUE TO LOCATION.

**\*MITERED ENDS SPECIFICATION PER FDOT DESIGN STANDARDS INDEX 273 SHEET 2**

[www.fdot.gov/rddesign/DS/12/IDx/00273.pdf](http://www.fdot.gov/rddesign/DS/12/IDx/00273.pdf)



# Right-of-Way Culvert / Driveway

## Instructions and Conditions

### **General Information and Instructions:**

Complete the application and sign the bottom of page 2 before submitting to Central Permitting. The original application becomes the approved permit when Development Engineering completes the "For Office Use Only" section and the appropriate fees\* are paid. Either the permit or a copy thereof must be available at all times at the worksite (where the work is being performed).

\*Work Without Permit: Any work that commences without the required permits available on the job site shall be immediately suspended until such time as the required permits have been acquired. A fee for work commenced without a valid permit issued shall be assessed in addition to the normal permit fee. The charge shall be as prescribed by the Board of County Commissioners. Emergency work is excluded from the charge.

**PAVERS ARE NOT PERMITTED IN A FLAGLER COUNTY MAINTAINED RIGHT OF WAY.**

### **Conditions:**

It is understood and agreed that the rights and privileges herein set out are granted to the extent of the County's right, title and interest in the land to be entered upon and used by the permittee. The permittee shall at all times assume all risk and indemnify, defend and save harmless the County of Flagler from and against all loss, damage, cost or expense arising, in any manner, on account of the exercise or attempted exercise by said permittee of the aforesaid rights and privileges.

Applicant declares that prior to filing this permit he has ascertained the location of all existing utilities, both aerial and underground. The specific names of the agencies that have been notified must be typed or printed in the space provided, for the specific type of utility. It is expressly stipulated that this permit is a license for permissive use only and that the placing of facilities upon public property pursuant to this permit shall not operate to create or to vest any property right in said holder. The construction and/or maintenance of a utility shall not interfere with the property and right of prior occupant or to vest any property right in said holder. The construction and/or maintenance of a utility shall not interfere with the property and right of prior occupant.

In the event of widening, repair or reconstruction of a public road or highway, upon reasonable notice the permittee shall move its facilities to clear such construction at no cost to Flagler County, insofar as such facilities are within the public right-of-way.

The holder of this permit shall take such safety measures, including the placing and display of caution signs and signals as required by the Manual of Traffic Control Devices for Streets and Highways when working in the public right-of-way and shall also prevent any obstructions which are, or may become, dangerous to the traveling public.

Fees will be computed in accordance with the Fee Schedule adopted by the Board of County Commissioners and are payable upon issuance of the permit. For those driveways permitted as part of a Building Permit, a re-inspection fee in the amount stipulated in the Fee Schedule will be assessed if the Applicant requests an Inspection and the work is Incomplete. Sodding in the right-of-way, together with completion of a shoulder, swale, and backslope grading is considered an integral part of the permit.

\_\_\_\_\_  
\_\_\_\_\_

Construction/Installation Location: \_\_\_\_\_

\_\_\_\_\_  
Applicant/Owner Signature

\_\_\_\_\_  
Applicant/Owner Title





# Right-of-Way Culvert / Driveway

## Standard Operating Procedures for Permit Issuance

- All Disturbed areas shall be restored and stabilized prior to Final Engineering Inspection
- No Sidewalks Driveways, roadways, or other surfaces shall be disturbed unless clearly defined on this application
- Concrete must be a minimum of six inches (6") in the right-of-way, four (4") from the right-of-way line into the private property
- The only types of culvert pipe permitted are concrete and high density polyethylene (HDPE), specification sheets must be provided with either type indicating that they meet the Flagler County Right-of-Way utilization ordinance minimum standards
- Concrete that is placed one foot (1') or less from any exterior structure was requires a termite pre-treatment
- Flagler County does allow pavers to be used in the Right-of-Way. However, if a sidewalk exists, it must remain concrete. Below is a list of approved materials suitable for base construction and the required minimum thicknesses delivered directly from the Florida Department of Transportation's Design Standards, Index No. 514. All thicknesses are post-compaction.

### Flagler County Right-of-Way

- Pavers – 4 inch (4") 3000 PSI concrete base on compacted subgrade

### Non-County Right-of-Way:

- Limerock LBR100 – eight inches (8")
- Graded Aggregate Base LBR100 – nine inches (9")
- Crushed Concrete – eight inches (8")
- Placed Concrete at 3000 PSI – four inches (4")

### Concrete Driveway:

#### Flagler County Right-of-Way:

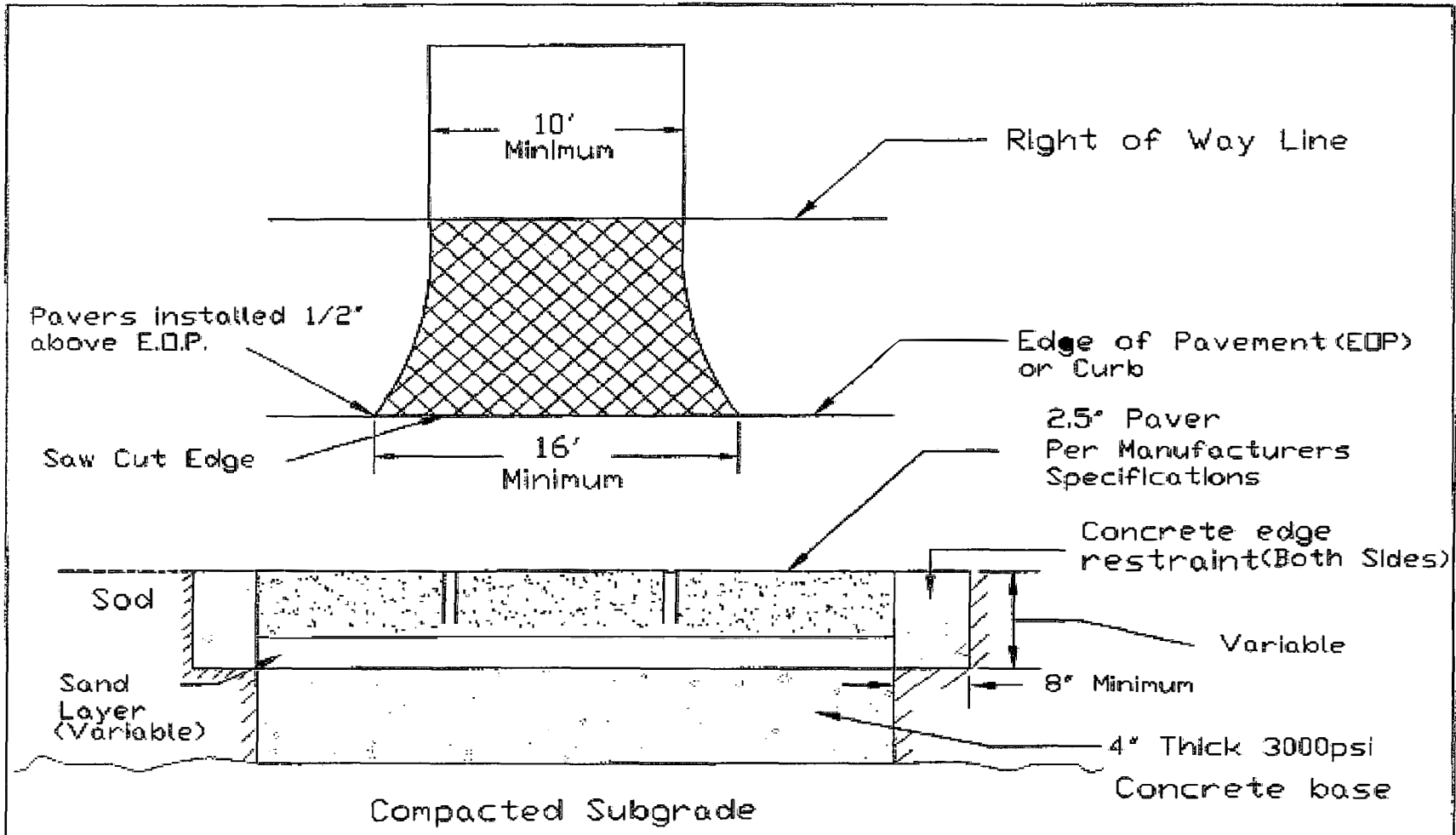
- 6 inch (6") 3000 PSI concrete subgrade or five inch (5") on limerock or crushed concrete base

#### Non-County Right-of-Way:

- 6 inch (6") 3000 PSI concrete subgrade or five inch (5") on limerock or crushed concrete base

- Specifications
  - Inspections (as applicable)
    - Paver Driveways: Prior to placement of base (verify base thickness and material)
    - Concrete Driveway: When form boards are in place (verify thickness)
    - Temporary Driveway Final
  - Fees
    - Per Fee Schedule





Pavers are not permitted in Flagler County owned & maintained ROW

Flagler County
Paver Driveway Detail
N.T.S.

