

# WEXFORD COVE

A PARTIAL REPLAT OF TRACTS 1, 3, AND 4, BLOCK D, SECTION 34, BUNNELL DEVELOPMENT COMPANY, PLAT BOOK 1, PAGE 1, LOCATED IN SECTION 34, TOWNSHIP 12 SOUTH, RANGE 31 EAST, AND A PORTION OF SECTION 35, TOWNSHIP 12 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA

PLAT LEGAL DESCRIPTION (SLIGER ASSOCIATES)

PART OF SECTIONS 34 AND 35, TOWNSHIP 12 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTHWEST CORNER OF SAID SECTION 35, THENCE N01°50'53"E, ALONG THE WEST LINE OF SAID SECTION 35 AND ALSO BEING THE EAST LINE OF SECTION 34 AFORESAID, A DISTANCE OF 1343.28 FEET; THENCE S89°07'54"W, DEPARTING SAID SECTION LINE A DISTANCE OF 1162.83 FEET TO A POINT ON THE EASTERLY LINE OF INTERSTATE 95; THENCE N20°46'54"W, ALONG SAID EASTERLY LINE OF INTERSTATE 95, A DISTANCE OF 676.81 FEET; THENCE N06°44'41"W, CONTINUING ALONG SAID EASTERLY LINE A DISTANCE OF 206.15 FEET; THENCE N20°49'38"W, CONTINUING ALONG SAID EASTERLY LINE A DISTANCE OF 20.34 FEET, TO A POINT IN THE CENTER OF KORONA CANAL; THENCE S74°01'26"E, ALONG SAID CANAL A DISTANCE OF 2049.76 FEET; THENCE S01°50'53"W, DEPARTING SAID CANAL A DISTANCE OF 1537.00 FEET TO A POINT ON THE SOUTHERLY LINE OF SECTION 35 AFORESAID; THENCE S81°18'07"W, ALONG SAID SOUTHERLY LINE A DISTANCE OF 536.24 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 38.98 ACRES MORE OR LESS.

**PROPERTY DEVELOPERS:**  
Wexford Cove, LLC.  
123 Magnolia Ave, Daytona Beach, Florida 32114 (386-547-9086)

**CERTIFICATE OF CLERK:**  
I HEREBY CERTIFY THAT THE FOREGOING PLAT WAS FILED FOR RECORD ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2024 AT \_\_\_\_\_ FILE NO. \_\_\_\_\_

BY: \_\_\_\_\_  
CLERK AND EX-OFFICIO CLERK TO THE BOARD OF COUNTY COMMISSIONERS  
FLAGLER COUNTY, FLORIDA.

**CERTIFICATE OF CHAIRMAN OF THE PLANNING BOARD:**  
THIS IS TO CERTIFY THAT ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2024, THE FOREGOING PLAT WAS APPROVED BY THE PLANNING AND DEVELOPMENT BOARD.

BY: \_\_\_\_\_  
CHAIRMAN, PLANNING AND DEVELOPMENT BOARD

**CERTIFICATE OF APPROVAL BY THE GROWTH MANAGEMENT DIRECTOR:**  
THIS PLAT IS HEREBY APPROVED FOR RECORDING PURSUANT TO FLAGLER COUNTY LAND DEVELOPMENT CODE AND SEC. 177.07(1), F.S.  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY: \_\_\_\_\_  
GROWTH MANAGEMENT DIRECTOR

**CERTIFICATE OF APPROVAL OF FLAGLER COUNTY ATTORNEY:**  
THIS IS TO CERTIFY THAT ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2024, THIS PLAT WAS APPROVED.

BY: \_\_\_\_\_  
COUNTY ATTORNEY

**TITLE CERTIFICATION:**  
STATE OF FLORIDA  
COUNTY OF FLAGLER

WE, STORCH LAW FIRM, A TITLE INSURANCE COMPANY AS DULY LICENSED IN THE STATE OF FLORIDA, DO HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY, THAT WE FIND THE TITLE TO THE PROPERTY IS VESTED IN "WEXFORD COVE, LLC"; THAT THE CURRENT TAXES HAVE BEEN PAID, THAT ALL MORTGAGES NOT SATISFIED OR RELEASED OR RECORD NOR OTHERWISE TERMINATED BY LAW ARE SHOWN HEREON, AND THAT THERE ARE ENCUMBRANCES OF RECORD BUT THOSE ENCUMBRANCES DO NOT PROHIBIT THE CREATION OF THE SUBDIVISION DEPICTED ON THIS PLAT.  
DATED: \_\_\_\_\_, 2024

PRINTED NAME AND TITLE

**ACCEPTANCE OF RESERVATIONS:**

STATE OF FLORIDA  
COUNTY OF FLAGLER

WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., HEREBY ACCEPTS THE DEDICATIONS, RESERVATIONS AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREON, DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024.

WEXFORD COVE HOMEOWNERS ASSOCIATION, INC.

BY: \_\_\_\_\_

PRINTED NAME AND TITLE:

WITNESS: \_\_\_\_\_

PRINTED NAME AND TITLE

**CERTIFICATE OF SURVEYOR:**

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT SAID SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT PERMANENT REFERENCE MONUMENTS, ("PRMs") AND PERMANENT CONTROL POINTS ("PCPs") HAVE BEEN PLACED AS REQUIRED BY LAW; AND, FURTHER STATE THAT THE SURVEY DATA COMPLIES WITH ALL OF THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AS AMENDED, AND THE ORDINANCES OF FLAGLER COUNTY, FLORIDA.

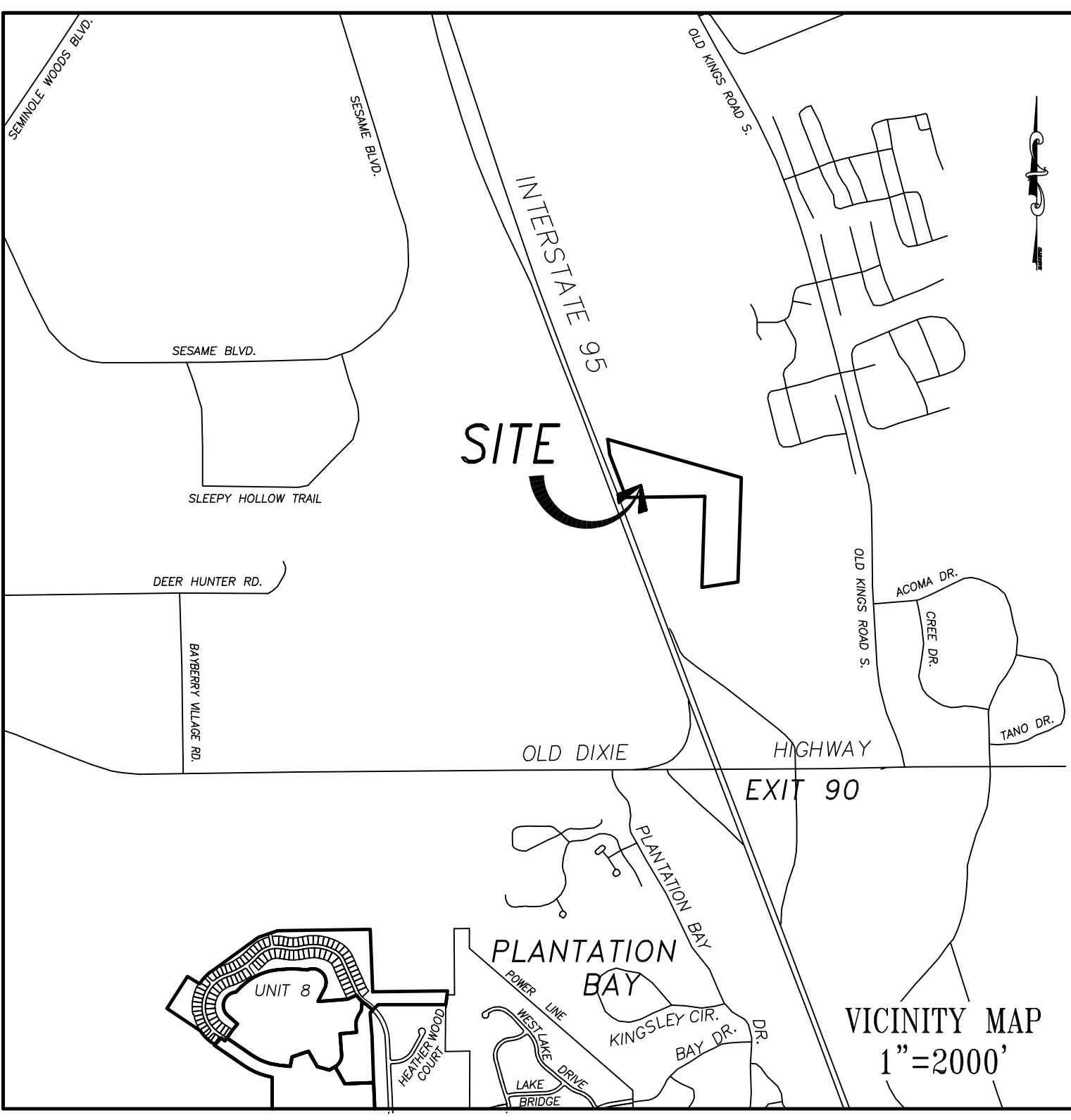
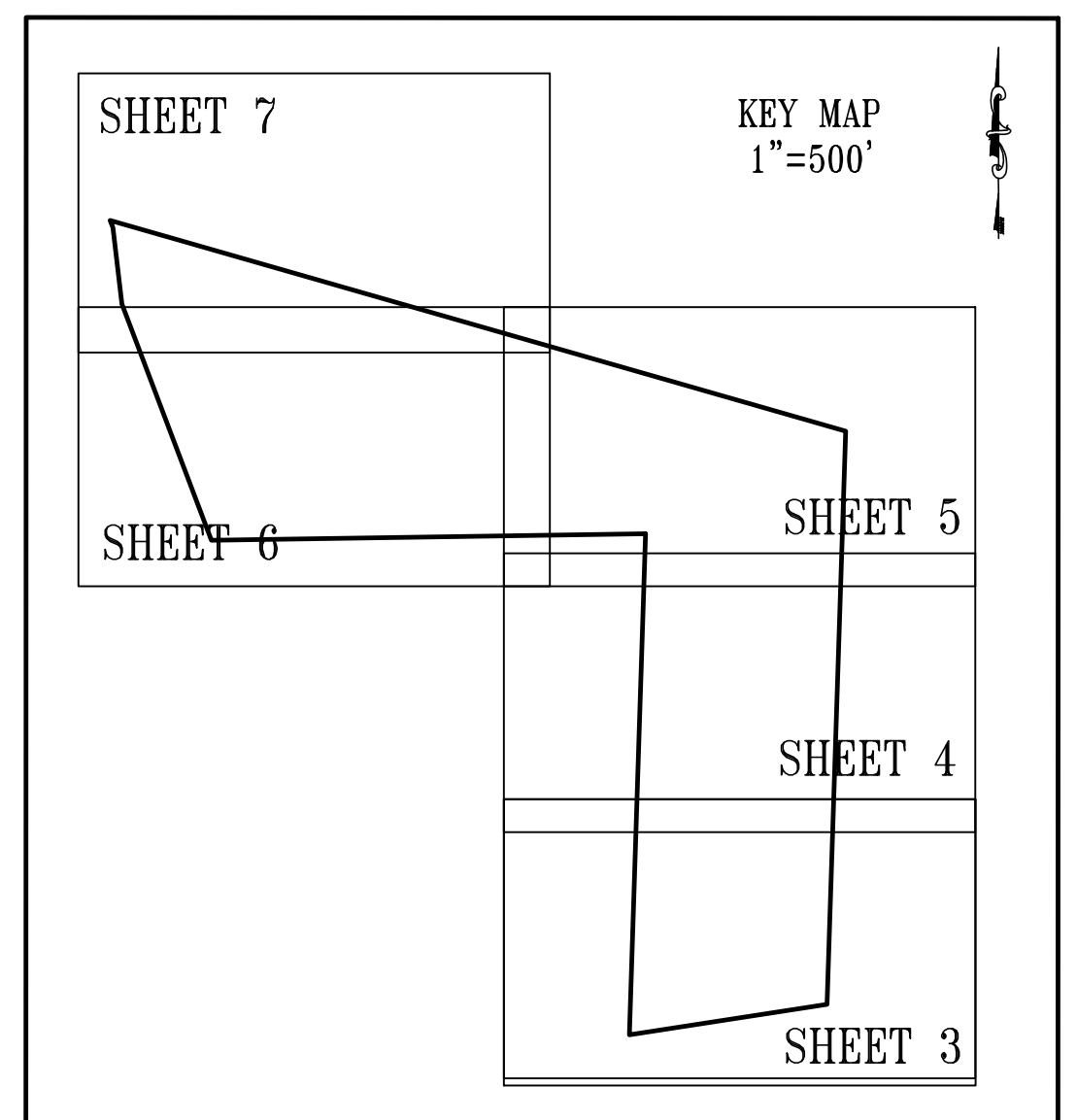
J.E. ZAPERT P.L.S. NO. 4046 \_\_\_\_\_ DATE \_\_\_\_\_  
SLIGER & ASSOCIATES INC., LICENSED BUSINESS CERTIFICATION NO. 3019  
3921 NOVA ROAD  
PORT ORANGE, FLORIDA 32127 (386) 761-5385

**GENERAL NOTES:**

- THE TERM "UTILITIES" AS USED ON THIS PLAT SHALL INCLUDE, BUT NOT BE LIMITED TO SEWER, SECURITY, TELEPHONE, ELECTRIC, CABLE TELEVISION SYSTEMS, POTABLE WATER AND DRAINAGE STRUCTURES, SANITARY SEWER, AND POTABLE WATER MAINS SHALL BE OWNED AND MAINTAINED BY THE COUNTY OF VOLUSIA, ITS SUCCESSORS AND/OR ASSIGNS.
- BEARINGS ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (EAST ZONE) WITH THE EAST LINE OF SECTION 34, TOWNSHIP 12 SOUTH, RANGE 31 EAST, BEING N01°50'53"E.
- CURVILINEAR LOT LINES SHOWN HEREON ARE RADIAL UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED MEASUREMENTS ARE IN U.S. FOOT AND DECIMAL PARTS THEREOF. ALL MEASUREMENTS REFER TO HORIZONTAL PLANE IN ACCORDANCE WITH THE DEFINITION OF THE UNITED STATES SURVEY FOOT OR METER ADOPTED BY THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY. ALL MEASUREMENTS SHALL USE THE 39.37/12=3.2808333333 EQUATION FOR CONVERSION FROM A U.S. FOOT TO METERS.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- BUILDING SETBACKS SHALL BE CONSISTENT WITH FLAGLER COUNTY ORDINANCE NO. 2022-14 RECORDED IN OFFICIAL RECORDS BOOK 2733, PGS 1297-1313 OF FLAGLER COUNTY, AND AS AMENDED
- THIS PLAT IS SUBJECT TO THE ARTICLES OF INCORPORATION WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., RECORDED IN O.R. BOOK \_\_\_\_\_, PAGE \_\_\_\_\_ COVENANTS AND RESTRICTIONS RECORDED IN O.R. BOOK \_\_\_\_\_, PAGES \_\_\_\_\_ - \_\_\_\_\_
- RECORDING REFERENCES FOR TWO EASEMENTS: OFFICIAL RECORDS BOOK 549, PAGE 991 (75-FOOT WIDE DRAINAGE EASEMENT), AND OFFICIAL RECORDS BOOK 619, PAGE 164, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA (30-FOOT WIDE CANAL DRAINAGE EASEMENT).

**NOTES REGARDING EASEMENTS AND BUFFERS:**

- THE PRIVATE ROADS SHOWN ON THIS PLAT ARE FOR INGRESS AND EGRESS BY LOT OWNERS AND THEIR GUESTS, EMERGENCY VEHICLES AND GOVERNMENT SERVICES.
- ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY, IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. - F.S. 177.091 (28).
- THE UTILITY EASEMENTS REFERENCED ABOVE AND DEPICTED AS SHOWN HEREON ARE GRANTED AND CONVEYED TO ANY PUBLIC OR PRIVATE UTILITY, AND ARE SEVERABLE, NON-EXCLUSIVE EASEMENTS, GRANTING THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN AND REPAIR UNDERGROUND PUBLIC UTILITY SYSTEMS (INCLUDING WIRES, CABLES, CONDUITS, AND ABOVE GROUND APPURTENANT EQUIPMENT) UNLESS OTHERWISE INDICATED.
- IN ADDITION TO THE UTILITY EASEMENTS SHOWN GRAPHICALLY HEREON, THERE SHALL BE A 10-FOOT WIDE NON-EXCLUSIVE TRANSFERABLE UTILITY EASEMENT OVER THE FRONTS OF ALL LOTS AND TRACTS.
- IN THE CASES WHERE EASEMENTS OF DIFFERENT TYPES CROSS, OR OTHERWISE COINCIDE, DRAINAGE EASEMENTS SHALL HAVE FIRST PRIORITY, UTILITY EASEMENTS SHALL HAVE SECOND PRIORITY, ACCESS EASEMENTS SHALL HAVE THIRD PRIORITY AND ALL OTHER EASEMENTS SHALL BE SUBORDINATE TO THESE WITH THEIR PRIORITIES BEING DETERMINED BY THE USE RIGHTS GRANTED.
- FLAGLER COUNTY SHALL NOT BE RESPONSIBLE FOR DRAINAGE OR ROAD MAINTENANCE WITHIN THIS PLAT BOUNDARY.



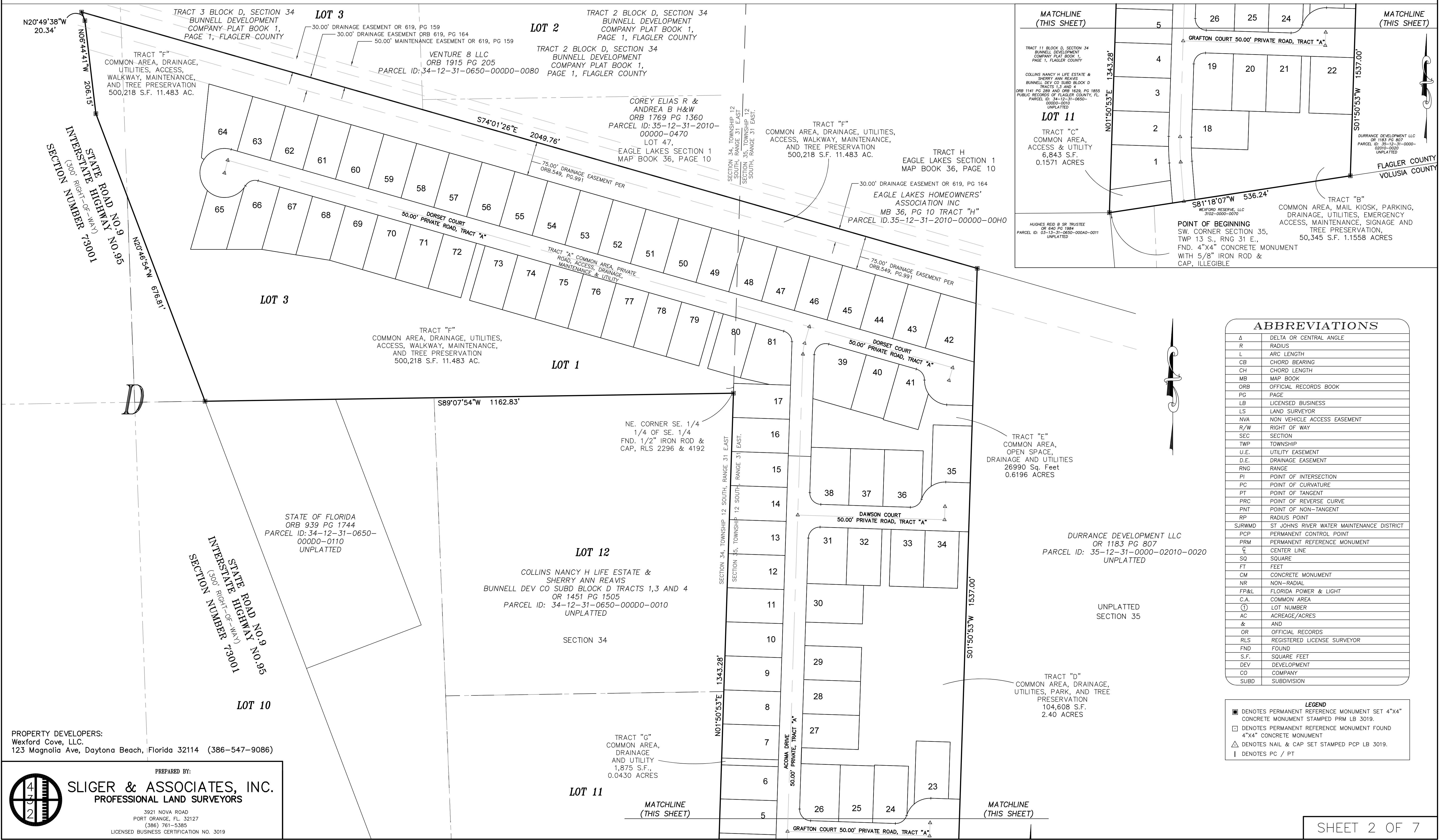
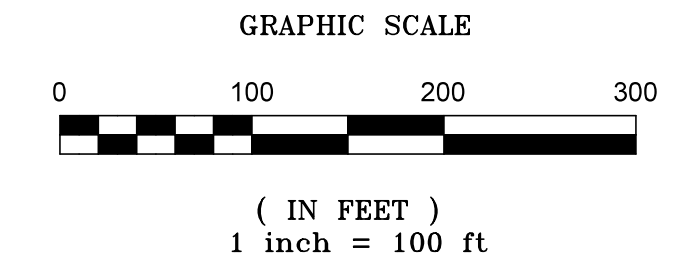
PREPARED BY:  
**SLIGER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS  
3921 NOVA ROAD  
PORT ORANGE, FL 32127  
(386) 761-5385  
LICENSED BUSINESS CERTIFICATION NO. 3019

DEDICATION AND RESERVATION:  
KNOW ALL MEN BY THESE PRESENTS THAT WEXFORD COVE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, OWNER OF THE LAND SHOWN HEREON, BEING IN SECTIONS 34 AND 35, TOWNSHIP 12 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, SHOWN HEREON AS "WEXFORD COVE".  
HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE SAID LANDS AND PLAT FOR THE USES AND PURPOSES HEREIN EXPRESSED AND MORE SPECIFICALLY AS FOLLOWS:  
TRACT "A" IS HEREBY GRANTED AND CONVEYED IN FEE SIMPLE TO THE WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., AS A PRIVATE ROAD TRACT FOR COMMON AREA, PRIVATE ROAD, ACCESS, DRAINAGE, MAINTENANCE & UTILITY PURPOSES. WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., SHALL BE RESPONSIBLE FOR MAINTENANCE IN PERPETUITY WITHOUT RECOURSE TO FLAGLER COUNTY. AN INGRESS-EGRESS EASEMENT IS HEREBY GRANTED FOR OFFICIAL INGRESS-EGRESS OF EMERGENCY VEHICLES, GOVERNMENT SERVICES, INCLUDING FLAGLER COUNTY UTILITY PROVIDERS, OVER AND UPON SAID TRACT - "A". A UTILITY EASEMENT IS HEREBY GRANTED TO, AT&T, FLORIDA POWER AND LIGHT COMPANY AND CHARTER COMMUNICATIONS FOR INSTALLATION AND MAINTENANCE OF UTILITY SYSTEMS. A UTILITY EASEMENT IS GRANTED TO THE COUNTY OF VOLUSIA OVER TRACT "A" FOR OPERATION / MAINTENANCE OF WATER AND SANITARY SEWER LINES.  
TRACT "B" IS HEREBY GRANTED AND CONVEYED IN FEE SIMPLE TO THE WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., FOR COMMON AREA; MAIL KIOSK; PARKING; DRAINAGE; UTILITIES; EMERGENCY ACCESS; MAINTENANCE, SIGNAGE AND; TREE PRESERVATION PURPOSES. WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., SHALL BE RESPONSIBLE FOR MAINTENANCE IN PERPETUITY WITHOUT RECOURSE TO FLAGLER COUNTY.  
TRACT "C" IS HEREBY GRANTED AND CONVEYED IN FEE SIMPLE TO THE WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., FOR COMMON AREA; ACCESS; AND UTILITY PURPOSES. WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., SHALL BE RESPONSIBLE FOR MAINTENANCE IN PERPETUITY WITHOUT RECOURSE TO FLAGLER COUNTY.  
TRACT "D" IS HEREBY GRANTED AND CONVEYED IN FEE SIMPLE TO THE WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., FOR COMMON AREA; DRAINAGE; UTILITIES; DRAINAGE; AND UTILITIES PURPOSES. WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., SHALL BE RESPONSIBLE FOR MAINTENANCE IN PERPETUITY WITHOUT RECOURSE TO FLAGLER COUNTY.  
TRACT "E" IS HEREBY GRANTED AND CONVEYED IN FEE SIMPLE TO THE WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., FOR COMMON AREA; OPEN SPACE; DRAINAGE; AND UTILITIES PURPOSES. WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., SHALL BE RESPONSIBLE FOR MAINTENANCE IN PERPETUITY WITHOUT RECOURSE TO FLAGLER COUNTY.  
TRACT "F" IS HEREBY GRANTED AND CONVEYED IN FEE SIMPLE TO THE WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., FOR COMMON AREA; DRAINAGE; UTILITIES; ACCESS; WALKWAY; MAINTENANCE AND; TREE PRESERVATION PURPOSES. WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., SHALL BE RESPONSIBLE FOR MAINTENANCE IN PERPETUITY WITHOUT RECOURSE TO FLAGLER COUNTY.  
TRACT "G" IS HEREBY GRANTED AND CONVEYED IN FEE SIMPLE TO THE WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., FOR COMMON AREA, DRAINAGE, AND UTILITY PURPOSES. WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., SHALL BE RESPONSIBLE FOR MAINTENANCE IN PERPETUITY WITHOUT RECOURSE TO FLAGLER COUNTY.  
ALL ACCESS, MAINTENANCE AND UTILITY EASEMENTS, ARE HEREBY SUBJECT TO AN EASEMENT IN FAVOR OF THE COUNTY OF VOLUSIA FOR INSTALLATION AND MAINTENANCE OF POTABLE WATER AND SANITARY SYSTEMS.  
ALL DRAINAGE, MAINTENANCE AND ACCESS EASEMENTS UNLESS OTHERWISE SHOWN HEREON ARE HEREBY GRANTED TO THE WEXFORD COVE HOMEOWNERS ASSOCIATION, INC., FOR MAINTENANCE OF DRAINAGE SYSTEMS.  
IN WITNESS WHEREOF, WEXFORD COVE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, HAS CAUSED THESE PRESENTS TO BE EXECUTED IN ITS NAME ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024  
VESTED IN: WEXFORD COVE, LLC, A FLORIDA LIMITED LIABILITY COMPANY  
SIGNED AND SEALED IN THE PRESENCE OF:  
WITNESS: \_\_\_\_\_ BY: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_ RICHARD MAUGERI, MANAGER  
WITNESS: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_  
COUNTY OF: VOLUSIA  
STATE OF: FLORIDA  
THIS IS TO CERTIFY THAT THE ABOVE SIGNED BEFORE ME BY MEANS OF [ ] PHYSICAL PRESENCE OR [ ] ON LINE NOTARIZATION THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024, RICHARD MAUGERI, MANAGER WEXFORD COVE, LLC, A FLORIDA LIMITED LIABILITY COMPANY, HE IS PERSONALLY KNOWN TO ME.  
NOTARY PUBLIC SEAL  
STATE OF FLORIDA AT LARGE  
TITLE/RANK: \_\_\_\_\_ SIGNATURE \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
COMMISSION NUMBER: \_\_\_\_\_ PRINT NAME \_\_\_\_\_  
ACCEPTANCE OF RESERVATIONS:  
WEXFORD COVE HOMEOWNERS ASSOCIATION, INC.  
STATE OF FLORIDA  
COUNTY OF FLAGLER  
THE WEXFORD COVE HOMEOWNERS ASSOCIATION, INC. HEREBY ACCEPTS THE DEDICATIONS OR RESERVATIONS TO SAID ASSOCIATION AS STATED AND SHOWN HEREON, AND HEREBY ACCEPTS ITS MAINTENANCE OBLIGATIONS FOR SAME AS STATED HEREON, DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
WEXFORD COVE HOMEOWNERS ASSOCIATION, INC.  
A FLORIDA CORPORATION NOT FOR PROFIT  
WITNESS: \_\_\_\_\_ BY: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_ RICHARD MAUGERI, PRESIDENT  
PRINT NAME: \_\_\_\_\_  
CERTIFICATE OF APPROVAL BY COUNTY COMMISSION OF FLAGLER COUNTY, FLORIDA:  
THIS IS TO CERTIFY THAT ON THE DAY OF \_\_\_\_\_, 2024 THE FOREGOING PLAT WAS APPROVED BY THE COUNTY COMMISSION OF FLAGLER COUNTY, FLORIDA.  
BY: \_\_\_\_\_  
CHAIRMAN, BOARD OF COUNTY COMMISSIONERS  
ATTEST: \_\_\_\_\_  
CLERK AND EX-OFFICIO CLERK TO THE BOARD OF COUNTY COMMISSIONERS  
FLAGLER COUNTY, FLORIDA  
REVIEW SURVEYOR'S CERTIFICATION:  
I HEREBY CERTIFY, THAT THE UNDERSIGNED, IS A LICENSED PROFESSIONAL SURVEYOR AND MAPPER AND IS EITHER EMPLOYED OR UNDER CONTRACT WITH FLAGLER COUNTY. I ALSO CERTIFY THAT I AM NOT REPRESENTING THE OWNER OR OWNERS OF RECORD AND HAVE REVIEWED THIS PLAT AND FOUND IT TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 177, PART 1, FLORIDA STATUTES AND FLAGLER COUNTY PLATTING REGULATIONS.  
DATE: \_\_\_\_\_, 2024 BY: \_\_\_\_\_  
PRINT NAME: RONALD S. GIBSON  
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER, CERTIFICATE NO. LSS308

# WEXFORD COVE

PLAT BOOK: \_\_\_ PAGE: \_\_\_

A PARTIAL REPLAT OF TRACTS 1, 3, AND 4, BLOCK D, SECTION 34, BUNNELL DEVELOPMENT COMPANY, PLAT BOOK 1, PAGE 1,  
LOCATED IN SECTION 34, TOWNSHIP 12 SOUTH, RANGE 31 EAST, AND A PORTION OF SECTION 35, TOWNSHIP 12 SOUTH, RANGE 31 EAST,  
FLAGLER COUNTY, FLORIDA



### ABBREVIATIONS

Δ	DELTA OR CENTRAL ANGLE
R	RADIUS
L	ARC LENGTH
CB	CHORD BEARING
CH	CHORD LENGTH
MB	MAP BOOK
ORB	OFFICIAL RECORDS BOOK
PG	PAGE
LB	LICENSED BUSINESS
LS	LAND SURVEYOR
NVA	NON VEHICLE ACCESS EASEMENT
R/W	RIGHT OF WAY
SEC	SECTION
TWP	TOWNSHIP
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
RNG	RANGE
PI	POINT OF INTERSECTION
PC	POINT OF CURVATURE
PT	POINT OF TANGENT
PRC	POINT OF REVERSE CURVE
PNT	POINT OF NON-TANGENT
RP	RADIUS POINT
SJRWMD	ST JOHN'S RIVER WATER MAINTENANCE DISTRICT
PCP	PERMANENT CONTROL POINT
PRM	PERMANENT REFERENCE MONUMENT
CL	CENTER LINE
SO	SQUARE
FT	FEET
CM	CONCRETE MONUMENT
NR	NON-RADIAL
FP&L	FLORIDA POWER & LIGHT
C.A.	COMMON AREA
①	LOT NUMBER
AC	ACREAGE/ACRES
&	AND
OR	OFFICIAL RECORDS
RLS	REGISTERED LICENSE SURVEYOR
FND	FOUND
S.F.	SQUARE FEET
DEV	DEVELOPMENT
CO	COMPANY
SUBD	SUBDIVISION

#### LEGEND

■	DENOTES PERMANENT REFERENCE MONUMENT SET 4"x4" CONCRETE MONUMENT STAMPED PRM LB 3019.
□	DENOTES PERMANENT REFERENCE MONUMENT FOUND 4"x4" CONCRETE MONUMENT
△	DENOTES NAIL & CAP SET STAMPED PCP LB 3019.
	DENOTES PC / PT

PROPERTY DEVELOPERS:  
Wexford Cove, LLC.  
123 Magnolia Ave, Daytona Beach, Florida 32114 (386-547-9086)

PREPARED BY:

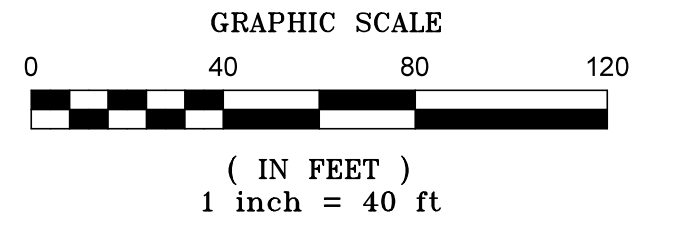
**SLIGER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS

3921 NOVA ROAD  
PORT ORANGE, FL 32127  
(386) 761-5385  
LICENSED BUSINESS CERTIFICATION NO. 3019

# WEXFORD COVE

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FLAGLER COUNTY, FLORIDA

PLAT BOOK: \_\_\_ PAGE: \_\_\_



LOT 11

TRACT 11 BLOCK D, SECTION 34  
BUNNELL DEVELOPMENT  
COMPANY PLAT BOOK 1,  
PAGE 1, FLAGLER COUNTY

COLLINS NANCY H LIFE ESTATE &  
SHERRY ANN REAVIS  
BUNNELL DEV CO SUBD BLOCK D  
TRACTS 1,3 AND 4  
ORB 1141 PG 289 AND ORB 1629, PG 1855  
PUBLIC RECORDS OF FLAGLER COUNTY, FL.  
PARCEL ID: 34-12-31-0650-  
0000-0010  
UNPLATTED

HUGHES REID B SR TRUSTEE  
OR 640 PG 1984  
PARCEL ID: 03-13-31-0650-000A0-0011  
UNPLATTED

PREPARED BY:  
**SLIGER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS

3921 NOVA ROAD  
PORT ORANGE, FL 32127  
(386) 761-5385  
LICENSED BUSINESS CERTIFICATION NO. 3019

POINT OF BEGINNING  
SW. CORNER SECTION 35,  
TWP 13 S., RNG 31 E.,  
FND. 4"x4" CONCRETE  
MONUMENT WITH 5/8" IRON ROD &  
CAP, ILLEGIBLE

PROPERTY DEVELOPERS:  
Wexford Cove, LLC.  
123 Magnolia Ave, Daytona Beach, Florida 32114 (386-547-9086)

MATCHLINE (SHEET 4)  
MATCHLINE (SHEET 3)

DURRANCE DEVELOPMENT LLC  
OR 1183 PG 807  
PARCEL ID: 35-12-31-0000-  
02010-0020  
UNPLATTED

### ABBREVIATIONS

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C.A.	COMMON AREA
①	LOT NUMBER
AC	ACREAGE/ACRES
&	AND
OR	OFFICIAL RECORDS
RLS	REGISTERED LICENSE SURVEYOR
FND	FOUND
S.F.	SQUARE FEET
DEV	DEVELOPMENT
CO	COMPANY
SUBD	SUBDIVISION

### LEGEND

- DENOTES PERMANENT REFERENCE MONUMENT SET 4"x4" CONCRETE MONUMENT STAMPED PRM LB 3019.
- DENOTES PERMANENT REFERENCE MONUMENT FOUND 4"x4" CONCRETE MONUMENT
- △ DENOTES NAIL & CAP SET STAMPED PCP LB 3019.
- | DENOTES PC / PT

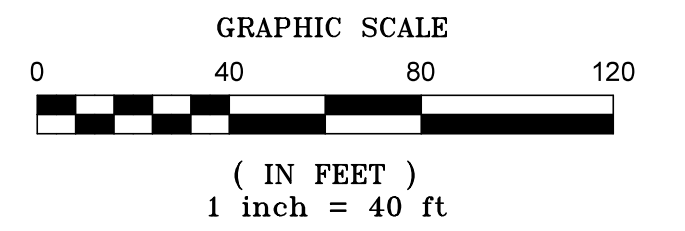
### CURVE DATA TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C11	25.00'	59.27'	55.38'	S43°09'07"E	90°00'00"
C12	25.00'	32.54'	30.29'	N54°33'21"E	74°35'03"
C13	54.00'	70.29'	65.43'	N54°33'21"E	74°35'03"
C14	75.00'	53.27'	55.38'	S43°09'07"E	90°00'00"
C15	525.00'	58.61'	58.58'	N01°21'01"W	06°23'49"
C16	500.00'	55.82'	55.79'	N01°21'01"W	06°23'49"
C17	475.00'	53.03'	53.00'	S01°21'01"E	06°23'49"

# WEXFORD COVE

A PARTIAL REPLAT OF TRACTS 1, 3, AND 4, BLOCK D, SECTION 34, BUNNELL DEVELOPMENT COMPANY, PLAT BOOK 1, PAGE 1,  
LOCATED IN SECTION 34, TOWNSHIP 12 SOUTH, RANGE 31 EAST, AND A PORTION OF SECTION 35, TOWNSHIP 12 SOUTH, RANGE 31 EAST,  
FLAGLER COUNTY, FLORIDA

PLAT BOOK: \_\_\_ PAGE: \_\_\_



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LB	LICENSED BUSINESS
LS	LAND SURVEYOR
NVA	NON VEHICLE ACCESS EASEMENT
R/W	RIGHT OF WAY
SEC	SECTION
TWP	TOWNSHIP
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
RNG	RANGE
PI	POINT OF INTERSECTION
PC	POINT OF CURVATURE
PT	POINT OF TANGENT
PRC	POINT OF REVERSE CURVE
PNT	POINT OF NON-TANGENT
RP	RADIUS POINT
SURWMD	ST JOHNS RIVER WATER MAINTENANCE DISTRICT
PCP	PERMANENT CONTROL POINT
PRM	PERMANENT REFERENCE MONUMENT
CL	CENTER LINE
SQ	SQUARE
FT	FEET
CM	CONCRETE MONUMENT
NR	NON-RADIAL
FP&L	FLORIDA POWER & LIGHT
C.A.	COMMON AREA
Ⓛ	LOT NUMBER
AC	ACREAGE/ACRES
&	AND
OR	OFFICIAL RECORDS
RLS	REGISTERED LICENSE SURVEYOR
FND	FOUND
S.F.	SQUARE FEET
DEV	DEVELOPMENT
CO	COMPANY
SUBD	SUBDIVISION

#### LEGEND

- DENOTES PERMANENT REFERENCE MONUMENT SET 4"x4" CONCRETE MONUMENT STAMPED PRM LB 3019.
- DENOTES PERMANENT REFERENCE MONUMENT FOUND 4"x4" CONCRETE MONUMENT
- △ DENOTES NAIL & CAP SET STAMPED PCP LB 3019.
- | DENOTES PC / PT

DURRANCE DEVELOPMENT LLC  
OR 1183 PG 807  
PARCEL ID: 35-12-31-0000-02010-0020  
UNPLATTED

#### CURVE DATA TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C7	25.00'	39.27'	35.36'	S43°09'07"E	90°00'00"
C8	25.00'	32.55'	30.30'	N54°33'10"E	74°35'25"
C9	14.00'	70.30'	65.44'	N54°33'10"E	74°35'25"
C10	25.00'	39.27'	35.36'	S48°50'53"W	90°00'00"

TRACT 12 BLOCK D, SECTION 34  
BUNNELL DEVELOPMENT  
COMPANY PLAT BOOK 1,  
PAGE 1, FLAGLER COUNTY

LOT 12

COLLINS NANCY H LIFE ESTATE &  
SHERRY ANN REAVIS  
BUNNELL DEV CO SUBD BLOCK D TRACTS 1,3 AND 4  
ORB 1141 PG 289 AND ORB 1629, PG 1855  
PARCEL ID: 34-12-31-0650-0000-0010  
UNPLATTED

PROPERTY DEVELOPERS:  
Wexford Cove, LLC.  
123 Magnolia Ave, Daytona Beach, Florida 32114 (386-547-9086)

PREPARED BY:

**SLIGER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS

3921 NOVA ROAD  
PORT ORANGE, FL 32127  
(386) 761-5385  
LICENSED BUSINESS CERTIFICATION NO. 3019

MATCHLINE (SHEET 4)  
MATCHLINE (SHEET 3)

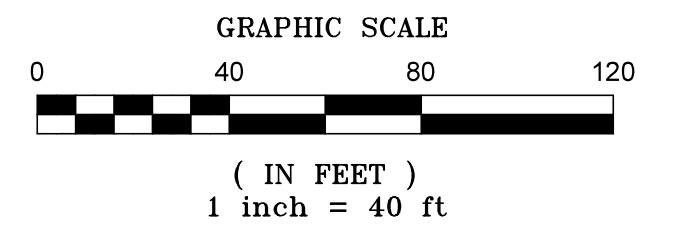
MATCHLINE (SHEET 4)  
MATCHLINE (SHEET 3)

DURRANCE DEVELOPMENT LLC  
OR 1183 PG 807  
PARCEL ID: 35-12-31-0000-  
02010-0020  
UNPLATTED

# WEXFORD COVE

A PARTIAL REPLAT OF TRACTS 1, 3, AND 4, BLOCK D, SECTION 34, BUNNELL DEVELOPMENT COMPANY, PLAT BOOK 1, PAGE 1,  
LOCATED IN SECTION 34, TOWNSHIP 12 SOUTH, RANGE 31 EAST, AND A PORTION OF SECTION 35, TOWNSHIP 12 SOUTH, RANGE 31 EAST,  
FLAGLER COUNTY, FLORIDA

PLAT BOOK: \_\_\_ PAGE: \_\_\_



PROPERTY DEVELOPERS:  
Wexford Cove, LLC.  
123 Magnolia Ave, Daytona Beach, Florida 32114 (386-547-9086)

**LEGEND**

- DENOTES PERMANENT REFERENCE MONUMENT SET 4"x4" CONCRETE MONUMENT STAMPED PRM LB 3019.
- DENOTES PERMANENT REFERENCE MONUMENT FOUND 4"x4" CONCRETE MONUMENT
- △ DENOTES NAIL & CAP SET STAMPED PCP LB 3019.
- | DENOTES PC / PT

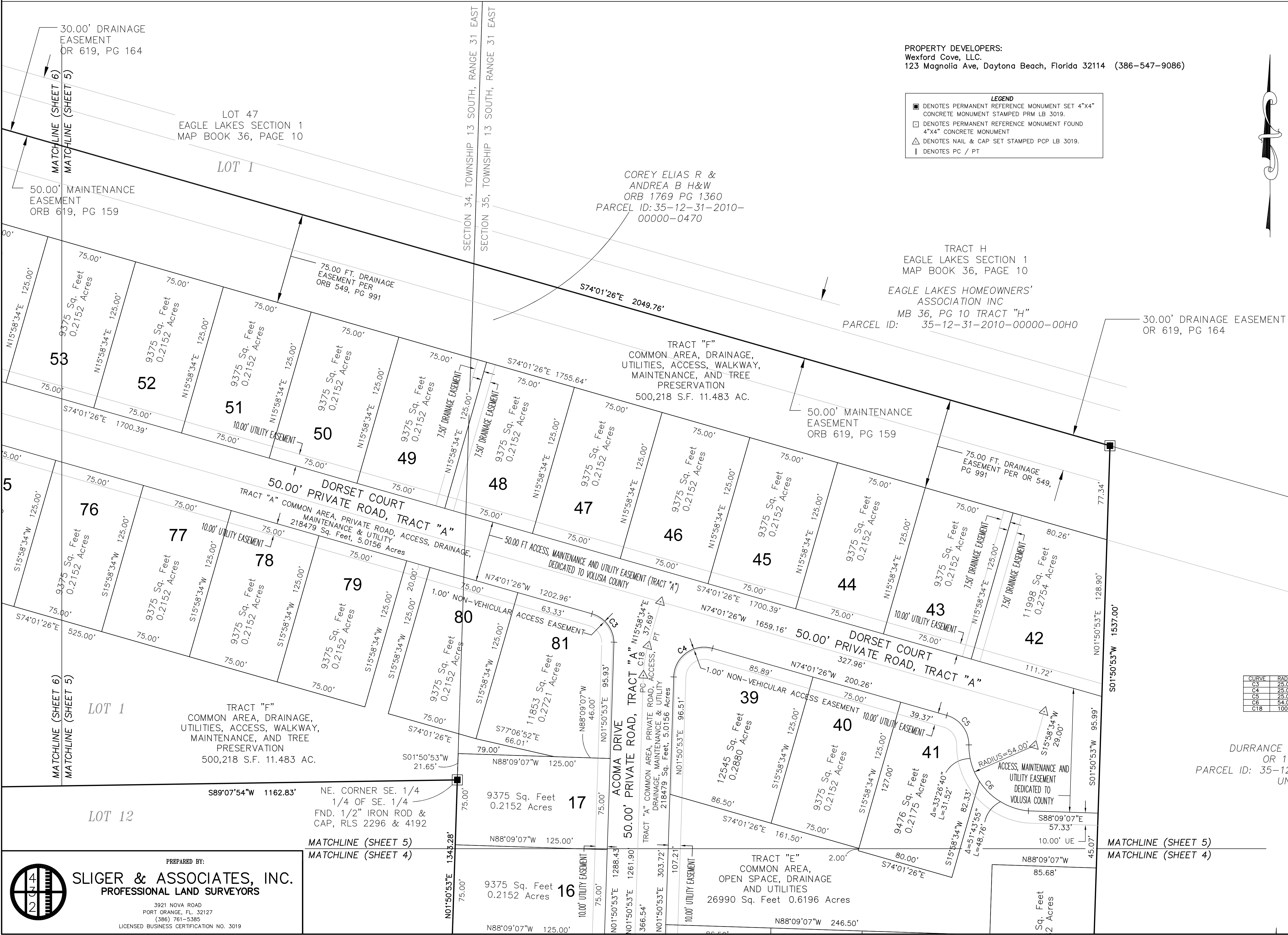
**ABBREVIATIONS**

Δ	DELTA OR CENTRAL ANGLE
R	RADIUS
L	ARC LENGTH
CB	CHORD BEARING
CH	CHORD LENGTH
MB	MAP BOOK
ORB	OFFICIAL RECORDS BOOK
PG	PAGE
LB	LICENSED BUSINESS
LS	LAND SURVEYOR
NVA	NON VEHICLE ACCESS EASEMENT
R/W	RIGHT OF WAY
SEC	SECTION
TWP	TOWNSHIP
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
RNG	RANGE
PI	POINT OF INTERSECTION
PC	POINT OF CURVATURE
PT	POINT OF TANGENT
PRC	POINT OF REVERSE CURVE
PNT	POINT OF NON-TANGENT
RP	RADIUS POINT
SJRWMD	ST JOHN'S RIVER WATER MAINTENANCE DISTRICT
PCP	PERMANENT CONTROL POINT
PRM	PERMANENT REFERENCE MONUMENT
CL	CENTER LINE
SQ	SQUARE
FT	FEET
CM	CONCRETE MONUMENT
NR	NON-RADIAL
FP&L	FLORIDA POWER & LIGHT
C.A.	COMMON AREA
(1)	LOT NUMBER
AC	ACREAGE/ACRES
&	AND
OR	OFFICIAL RECORDS
RLS	REGISTERED LICENSE SURVEYOR
FND	FOUND
S.F.	SQUARE FEET
DEV	DEVELOPMENT
CO	COMPANY
SUBD	SUBDIVISION

**CURVE DATA TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C3	25.00'	31.82'	29.56'	N37°47'15"W	72°28'53"
C4	25.00'	45.75'	39.63'	S63°32'55"W	104°51'06"
C5	25.00'	32.54'	30.29'	N36°43'55"W	74°35'03"
C6	54.00'	80.28'	73.09'	N42°01'41"W	85°10'35"
C18	100.00'	24.66'	24.60'	N68°54'43"E	14°07'41"

DURRANCE DEVELOPMENT LLC  
OR 1183 PG 807  
PARCEL ID: 35-12-31-0000-02010-0020  
UNPLATTED



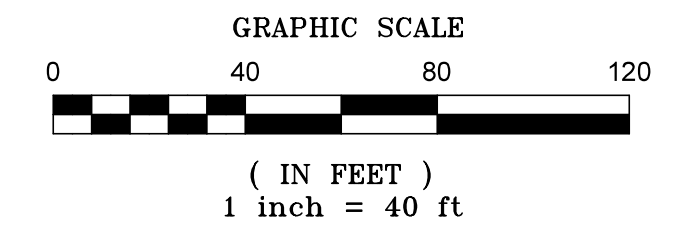
PREPARED BY:  
**SLIGER & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS

3921 NOVA ROAD  
PORT ORANGE, FL 32127  
(386) 761-5385  
LICENSED BUSINESS CERTIFICATION NO. 3019

# WEXFORD COVE

A PARTIAL REPLAT OF TRACTS 1, 3, AND 4, BLOCK D, SECTION 34, BUNNELL DEVELOPMENT COMPANY, PLAT BOOK 1, PAGE 1,  
LOCATED IN SECTION 34, TOWNSHIP 12 SOUTH, RANGE 31 EAST, AND A PORTION OF SECTION 35, TOWNSHIP 12 SOUTH, RANGE 31 EAST,  
FLAGLER COUNTY, FLORIDA

PLAT BOOK: \_\_\_ PAGE: \_\_\_



STATE ROAD NO. 9  
SECTION 34, TOWNSHIP 12 SOUTH, RANGE 31 EAST,  
SECTION NUMBER 73001

MATCHLINE (SHEET 7)  
MATCHLINE (SHEET 6)

TRACT "F"  
COMMON AREA, DRAINAGE,  
UTILITIES, ACCESS, WALKWAY,  
MAINTENANCE, AND TREE  
PRESERVATION  
500,218 S.F. 11.483 AC.

TRACT 4 BLOCK D, SECTION 34  
BUNNELL DEVELOPMENT  
COMPANY PLAT BOOK 1,  
PAGE 1, FLAGLER COUNTY

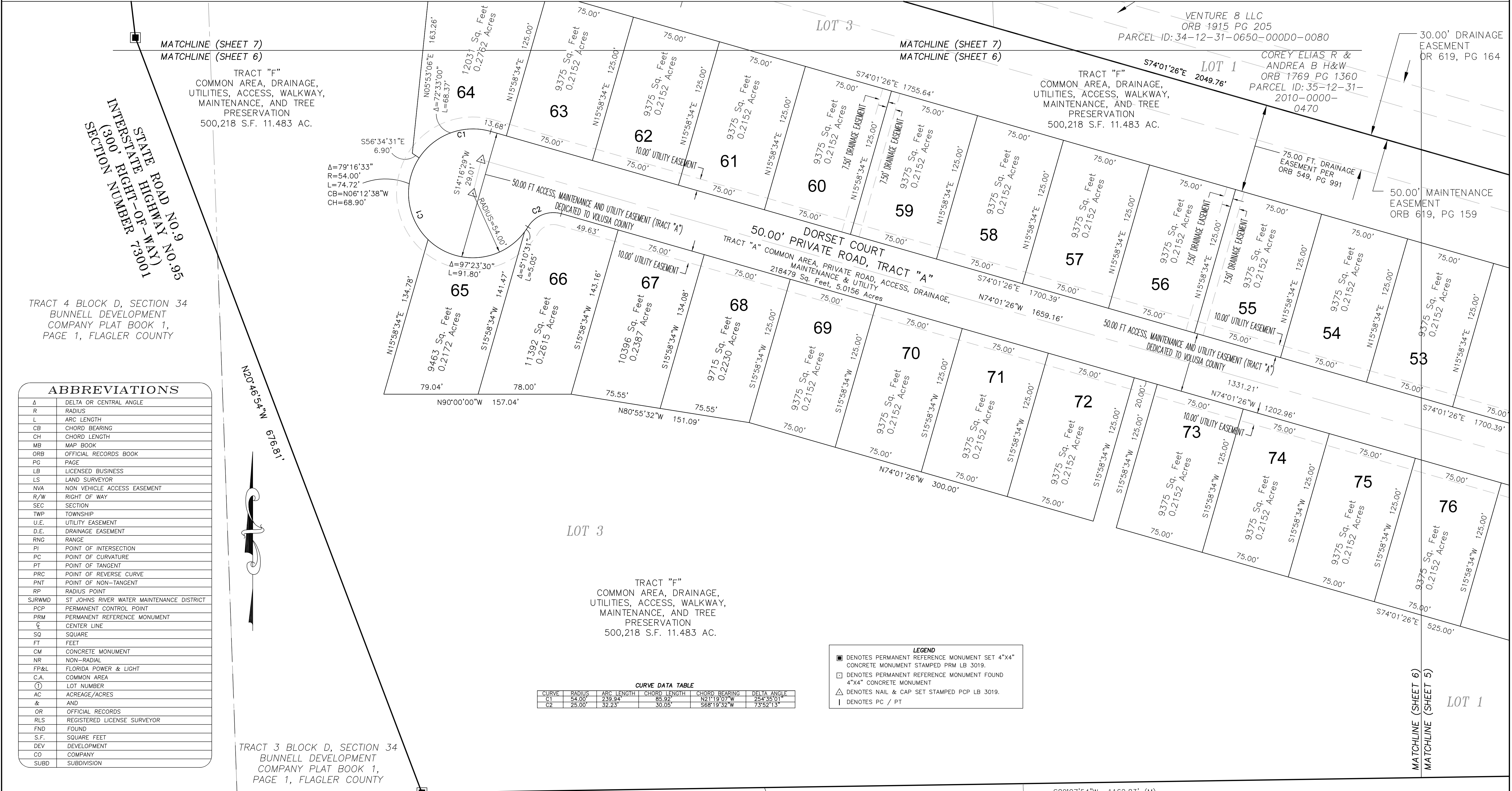
### ABBREVIATIONS

A	DELTA OR CENTRAL ANGLE
R	RADIUS
L	ARC LENGTH
CB	CHORD BEARING
CH	CHORD LENGTH
MB	MAP BOOK
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NR	NON-RADIAL
FP&L	FLORIDA POWER & LIGHT
C.A.	COMMON AREA
①	LOT NUMBER
AC	ACREAGE/ACRES
&	AND
OR	OFFICIAL RECORDS
RLS	REGISTERED LICENSE SURVEYOR
FND	FOUND
S.F.	SQUARE FEET
DEV	DEVELOPMENT
CO	COMPANY
SUBD	SUBDIVISION

TRACT 3 BLOCK D, SECTION 34  
BUNNELL DEVELOPMENT  
COMPANY PLAT BOOK 1,  
PAGE 1, FLAGLER COUNTY

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	54.00'	239.94'	85.92'	N21°19'07"W	254°35'01"
C2	25.00'	32.23'	30.05'	S68°19'32"W	73°52'13"

LEGEND	
■	DENOTES PERMANENT REFERENCE MONUMENT SET 4"x4" CONCRETE MONUMENT STAMPED PRM LB 3019.
□	DENOTES PERMANENT REFERENCE MONUMENT FOUND 4"x4" CONCRETE MONUMENT
△	DENOTES NAIL & CAP SET STAMPED PCP LB 3019.
	DENOTES PC / PT



PROPERTY DEVELOPERS:  
Wexford Cove, LLC.  
123 Magnolia Ave, Daytona Beach, Florida 32114 (386-547-9086)

TRACT 10 BLOCK D, SECTION 34  
BUNNELL DEVELOPMENT  
COMPANY PLAT BOOK 1,  
PAGE 1, FLAGLER COUNTY

STATE OF FLORIDA  
ORB 939 PG 1744  
PARCEL ID: 34-12-31-0650-  
0000-0110  
UNPLATTED

S89°07'54"W 1162.83' (M)

COLLINS NANCY H LIFE ESTATE &  
SHERRY ANN REAVIS  
BUNNELL DEV CO SUBD BLOCK D TRACTS 1,3 AND 4  
ORB 1141 PG 289 AND ORB 1629, PG 1855  
PARCEL ID: 34-12-31-0650-0000-0010  
UNPLATTED

PREPARED BY:

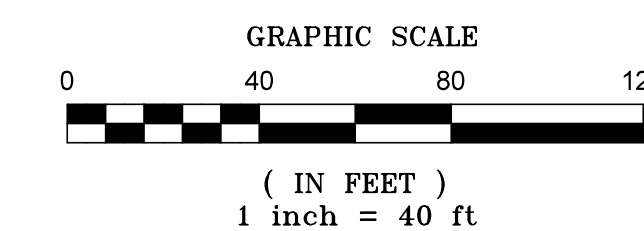
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LICENSED BUSINESS CERTIFICATION NO. 3019

# WEXFORD COVE

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PLAT BOOK: \_\_ PAGE: \_\_



## ABBREVIATIONS

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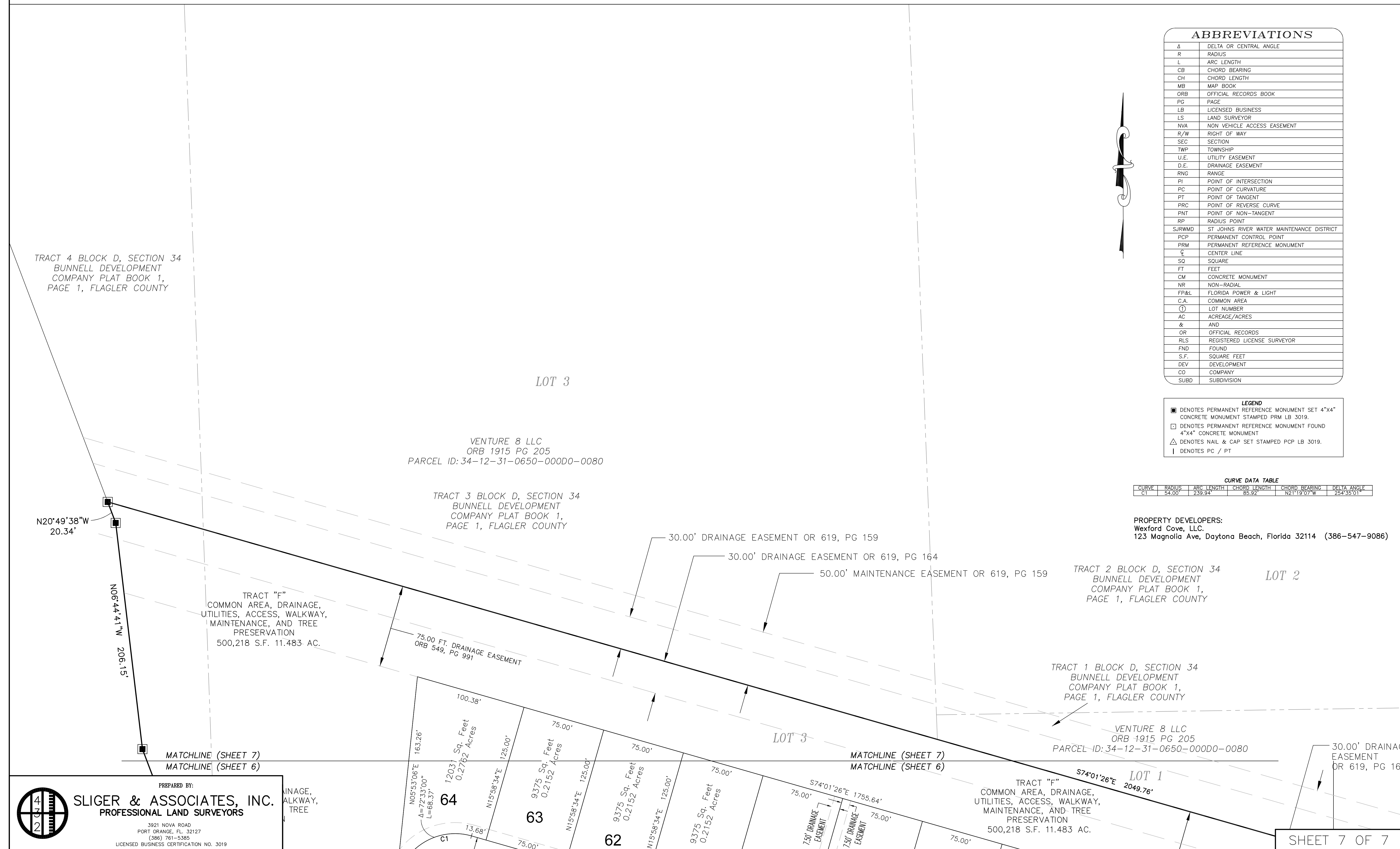
### LEGEND

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△	DENOTES NAIL & CAP SET STAMPED PCP LB 3019.
	DENOTES PC / PT

### CURVE DATA TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	54.00'	239.94'	85.92'	N21°19'07"W	254°35'01"

PROPERTY DEVELOPERS:  
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